

#### CITY OF ST. PETERSBURG, FLORIDA

PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

#### STAFF REPORT

Community Planning and Preservation Commission Certificate of Appropriateness Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action scheduled for **Tuesday, August 9, 2022, beginning at 2:00 p.m.**, in Council Chambers of City Hall, 175 Fifth St. N., St. Petersburg, Florida. Everyone is encouraged to view the meetings on TV or online at <a href="https://www.stpete.org/connect\_with\_us/stpete\_tv.php">https://www.stpete.org/connect\_with\_us/stpete\_tv.php</a>.

According to Planning & Development Services Department records, no Commission member or his or her spouse has a direct or indirect ownership interest in real property located within 2,000 linear feet of real property contained with the application (measured in a straight line between the nearest points on the property lines). All other possible conflicts should be declared upon the announcement of the item.



Case No.: 22-90200051

REQUEST: Review of a Certificate of Appropriateness application for a new, two-

story, 3,800 SF single-family house at 2101 3<sup>rd</sup> Ave N, a vacant lot in a local historic district. This application includes a FAR bonus request of

.2 FAR.

ADDRESS: 2101 3<sup>rd</sup> Avenue North

OWNER: TRB DEVELOPMENT ENGLEWOOD LLC

APPLICANT: Jonathan Meyer, Owner

LOCAL LANDMARK: Kenwood Section – Southeast Kenwood Local Historic District (18-

90300001)

PARCEL ID NO.: 24-31-16-11808-009-0090

LEGAL DESCRIPTION: BRONX BLK 9, LOT 9

ZONING: NT-2

#### Historic Significance and Existing Conditions

#### Historic District Designation and Significance

The Kenwood Section – Southeast Kenwood Local Historic District (the "subject district") was listed in the St. Petersburg Register of Historic Places on June 14, 2018. The local district lies entirely within the boundaries of the Kenwood National Register Historic District ("the National Register district"), which was designated by the National Park Service in 2003.

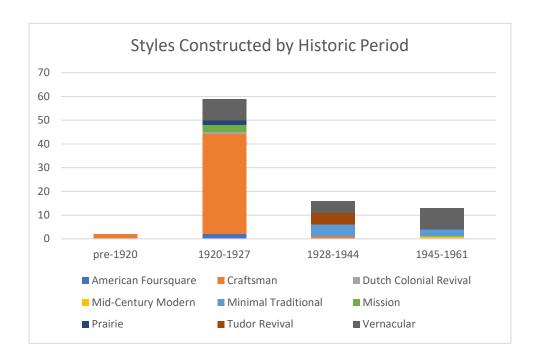
The neighborhood now known collectively as Kenwood was developed rapidly during the 1920s, with many of the houses being constructed by speculative builders. Within the Southeast Kenwood district, 59 of the 90 contributing primary residences were constructed between 1921 and 1927, including three (3) apartment buildings and 56 single family residences. The vast majority of these resources exhibit the Craftsman architectural style that has become nearly synonymous with the name "Kenwood;" the second-most prevalent style (or lack thereof) tends to be vernacular cottages which don't follow a formal architectural aesthetic, but many of these, still, feature references to the Craftsman movement in their form and massing.

The Southeast Kenwood district contains a selection of architectural styles that were fashionable during the area's early twentieth-century development, but a plurality of them is classified in the Craftsman style. Of the 90 contributing primary buildings, 45 exhibit the Craftsman style, two (2) the American Foursquare style, one (1) each display the Dutch Colonial Revival and Mid-Century Modern styles, eight (8) are Minimal Traditional, three (3) are Mission style, two (2) are Prairie style, five (5) are Tudor Revival, and 23 are vernacular, meaning that they do not necessarily exhibit a formal architectural style but reflect common materials and design and construction processes for their time. The primary structures classified as vernacular in this district could be separated into two main resource groups: pre-war Frame Vernacular and post-war Masonry Vernacular.

The parcel at 2101 3<sup>rd</sup> Avenue North (the "subject property") is presently vacant, but used to have a one-story Craftsman style house (Figure 1), constructed circa 1922 and was listed as a contributing property to both the local district and the National Register district. The house at 2101 3<sup>rd</sup> Ave N. was demolished in 2018 after it was condemned. The structure was approximately 1558 square feet, which may have included the garage, according to the demolition permit that was issued.



Figure 1: The structure at 2101 3<sup>rd</sup> Ave N before it was condemned and demolished in 2018.



Of the 81 contributing single-family residences within the district, 73 (or about 90 percent) are one (1) or 1.5 stories; the remaining eight (8) houses are two stories. There are nine (9) multi-family buildings, which are fairly evenly divided with four (4) duplexes being one story in height, and the remaining five (5) multi-family buildings featuring two stories. Most of these two-story, single-family homes are clustered in the 2100 block face of Burlington Ave N.





Figure 2: Representative streetscapes of the 2100 block face of 3<sup>rd</sup> Ave N.

The 2100 block face of 3<sup>rd</sup> Ave N is primarily made up of one-story structures, with 2100 3<sup>rd</sup> Ave N considered a 1.5 story building, although staff believes the half story is converted attic space. There are no two-story structures facing 3<sup>rd</sup> Ave N in the local district, as shown in Figure 3.

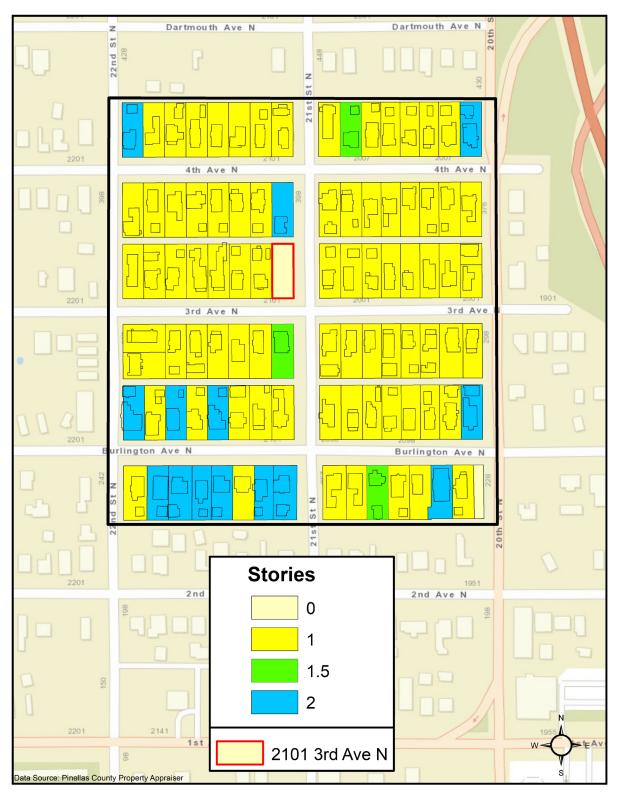


Figure 3: Map showing the primary building stories of the Southeast Kenwood district. Seven of the eight two-story single-family homes are clustered in the 2100 block face of Burlington Ave N. The other two-story house is located at 2159 4<sup>th</sup> Ave N. The rest of the two-story structures are multi-family buildings, including a triplex garage apartment building at 330 21<sup>st</sup> St N, which is located behind the subject property.

#### Criteria for Granting Certificates of Appropriateness

City Code section 16.30.070.2.6 (part of the *Historic and Archaeological Preservation Overlay*), provided in full in Appendix B, details the process by which exterior changes, including new construction and alterations, to local landmarks and properties within local landmark districts, shall be reviewed through application for Certificates of Appropriateness (COAs). Per Code, this review shall be limited to exterior changes and is required in addition to any other building permits required by law. In the case of new construction within a local historic district, a proposal is measured both against the *General Criteria for Granting a COA*, and the *Additional Guidelines for New Construction* identified within the above-referenced *Overlay*.

An application (COA 22-90200051) for a new single-family house with detached garage was submitted to the Urban Planning and Preservation Division on April 26, 2022. Staff offered to schedule a meeting with the applicant to discuss the neighborhood context and the COA process, but the applicant did not respond to the offer. Staff provided written comments analyzing the proposal with the criteria for new construction, indicating that the proposed project did not meet several of the criteria and staff would not recommend approval for the application as submitted. The applicant updated the plans to change the window style and operation.

#### Project Description and Review of COA

#### **Project Description**

The COA application (Appendix A) proposes a dwelling that is to be two stories in height and contain a total of 3,268 square feet of living space with a 568 square foot attached garage for a total square footage of 3,836, proposing a total floor area ratio (FAR) of .60.



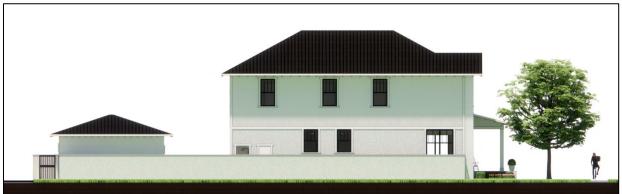


Figure 4: Proposed side renderings of the project.

Staff suggests that the following elements of the proposed building be closely considered by the Commission in their review, as features that most closely define its relationship with the historic district:

- Two-story house with detached garage;
- Orientation toward narrow side of parcel;
- Total width of primary residence is 33 feet by total length 44 feet on the first floor (averaging 43 foot long on the east, streetside elevation and the 45 feet long on the west, interior elevation). This does not include a rear covered lanai space at an elevated height;
- The second-floor length is 33 feet wide by 55 feet long (averaging the 54 feet long on the east, streetside elevation and 56 feet long on the west, interior elevation);
- Total height 34 feet, 9 inches from grade with finish floor elevation at 2 feet, 6 inches above grade;
- Ceiling height on first floor is 10 feet, and the ceiling height on second floor is 9.5 feet tall;
- Masonry construction with exterior treatment of stucco and brick on the exterior façade;
- House will utilize standing seam metal roof in a 6.5:12 pitch in a hipped form with a two-story front gable projection;
- Aluminum four-over-one and two-over-one sash windows with a four-paned fixed gable window and four-light horizontal window;
- 15-light, single action front door with no sidelights. No material was provided;
- Perimeter, 6-foot tall, solid masonry wall;
- Swimming pool (to be built by others) on streetside corner of property.

2100 Block of 3 <sup>rd</sup> Ave N Comparison							
Property	Туре	Style	Living Space SF	FAR			
2110 3rd Ave N	Single Family	Craftsman	1082	0.16			
2126 3rd Ave N	Single Family	Craftsman	1132	0.19			
301 22nd St N	Duplex	Masonry Vernacular	1113	0.21			
2120 3rd Ave N	Single Family	Non-Contributing	1031	0.22			
2142 3rd Ave N	Single Family	Craftsman	972	0.23			
2158 3rd Ave N	Duplex	Masonry Vernacular	1350	0.23			
2143 3rd Ave N	Single Family	Craftsman	1180	0.24			
2134 3rd Ave N	Single Family	Craftsman	1258	0.26			
2100 3rd Ave N	Single Family	Craftsman	1775	0.27			
2109 3rd Ave N	Single Family w/ detached structure	Craftsman	1224	0.28			
2121 3rd Ave N	Single Family w/ 2 story garage	Craftsman	1366	0.28			
2135 3rd Ave N	Single Family	Craftsman	2161	0.37			
2127 3rd Ave N	Single Family	Craftsman	2286	0.39			
2155 3rd Ave N	Single Family w/ 2 story garage	Craftsman	1633	0.39			
Average:			1397	.27			
Proposed 2101 3rd Ave N	Single Family	Folk Vernacular per Applicant	3268	.60			

Southeast Kenwood Contributing, Two-Story, Single Family Home Comparison							
Property	Style	Second Floor Dimensions	Ratio of 2 <sup>nd</sup> Floor to 1 <sup>st</sup> Floor	Living Space SF	FAR		
2143 Burlington Ave N	Craftsman	28 W x 29 L	0.44	1986	0.37		
2159 4th Ave N	American Foursquare	30 W x 30 L	0.49	1849	0.39		
2134 Burlington Ave N	Dutch Colonial Revival	28 W x 31 L	0.51	1918	0.4		
2130 Burlington Ave N	Prairie	38 W x 28 L	0.50	2128	0.41		
2125 Burlington Ave N	Craftsman	25 W x 38 L	0.42	1977	0.42		
2110 Burlington Ave N	Craftsman	28 W x 30 L	0.44	1945	0.45		
2142 Burlington Ave N	Prairie	38 W x 28 L	0.50	2128	046		
2100 Burlington Ave N	Frame Vernacular	38 W x 28 L	0.46	2014	0.5		
Average:		32 W x 30 L	.47	1993	.43		
Proposed 2101 3rd Ave N	Folk Vernacular	33 W x 55 L	.57	3268	.60		

General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. The effect of the proposed work on the landmark or the property upon which such work is to be done.

#### **Inconsistent**

The application proposes a two-story, single-family house that is 3,268 SF of living space and a detached garage that is 568 SF. The proposed floor area ratio (FAR) is .60, including a FAR bonus request of .20. The proposal includes a second story that is larger than the first story, which is not typical to the district.

As stated above, 90% of the single-family homes in the district are one or 1.5 stories. The table on the previous page shows that the average FAR of the 2100 block face is .27, less than half the FAR proposed in the application. The average living space square footage of the 2100 block face of 3<sup>rd</sup> Ave N is 1,397 SF. This makes the proposal more than twice the size of the adjacent properties.

Staff also compared the proposed application to the eight two-story, single-family houses that are contributing to the district (table shown above). Staff found that the average living space of these properties is 1,993 SF, which is significantly less than proposed 3,268 SF. The average FAR of two-story single-family structures in the district is .43, significantly less than the proposed .60 FAR in the application. For contributing single-family buildings, the dimensions of the second story are on average 32 feet wide by 30 feet long. This proposal includes a second story that is 33 feet wide by 55 feet long. This creates a second story massing that is almost twice the length of the average second story of two-story, single-family homes in the district, as shown on the next page in Figure 5.

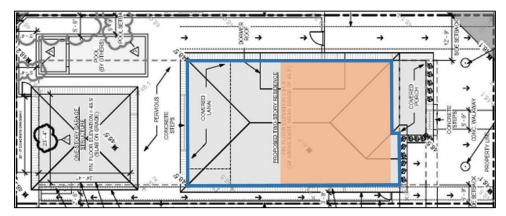


Figure 5: Depiction of average single-family second story dimensions of 32 feet wide by 30 feet long (orange rectangle) overlayed on submitted plans. The blue line represents the walls of the proposed home's second story.

The proposed two-story house also doesn't incorporate any one-story articulated masses, or bump outs, traditionally found on houses in this district. These small bump outs often serve to create a gesture to a streetside façade or work to break up a larger massing.

2. The relationship between such work and other structures on the landmark site or other property in the historic district.

#### Inconsistent

The proposal is not visually compatible with the other contributing resources in the district, particularly in the adjacent area. As discussed above, the proposal is significantly larger and taller than the surrounding structures. Infill design should be compatible with the predominant characteristics of a district and the adjacent properties.

3. The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.

#### Inconsistent

The proposal also includes materials that are not typical for single-family houses, such as stucco cladding with brick veneer ornamentation, standing seam metal roofing, and a solid masonry perimeter wall.

In addition, the window locations in the proposal do not create a rhythm on each elevation, and there does not appear to be a correlation between the windows on the first and second story.

4. Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.

# Information not provided

5. Whether the plans may be reasonably carried out by the applicant.

**Consistent** There is no indication that this proposal cannot be carried out.

6. A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.

Inconsistent

The proposal would create an incompatible and large-scale new development in the middle of a local historic district.

Additional Guidelines for New Construction

In approving or denying applications for a COA for new construction (which includes additions to an existing structure), the Commission and the POD shall also use the following additional guidelines.

1. The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.

Inconsistent

The new construction is proposed to be 34 feet, 9 inches tall, which is almost at the maximum 36-foot-tall allowance. Most structures in the district are one-story and not 35 feet tall.

2. The relationship of the width of the new construction to the height of the front elevation shall be visually compatible with contributing resources in the district.

Inconsistent

The proposal includes a two-story structure on a block that doesn't feature any two-story primary structure. While the width of the structure is generally compatible with the neighboring properties, it is significantly taller than the neighboring structures. While traditional 1920s houses in Kenwood would have an 8- to 9-foot-tall ceiling on the first floor and 8-foot-tall ceilings on the second floor, this proposal has taller ceilings of 10 feet on the first floor and 9.5 feet on the second floor. This helps to create a front elevation that is taller than other contributing properties in the district, while retaining a comparable width.

3. The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.

Inconsistent

Traditionally, windows on the second floor are the same size or smaller than the windows on the first floor. This proposal includes windows on the second floor that are taller than the first-floor windows, and this is not visually compatible with contributing resources in the district.

4. The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.

Inconsistent

The front façade includes a two-story front gable form that is not compatible with the contributing resources in the district. In addition, the streetside elevation, which will be highly visible from 21<sup>st</sup> St N, does not contain a window/fenestration rhythm or pattern. There is no correlation between the first and second-floor windows. The house does not contain a one-story articulated mass that is very common for corner properties.



Figure 6: The single-family house at 2101 Burlington Ave N utilizes a one-story articulated massing on the streetside elevation creates a frontage towards the 21<sup>st</sup> St N. This helps to enhance the pedestrian orientated character of the historic district.

5. The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.

#### Inconsistent

The proposal includes a solid, masonry perimeter wall, which is not visually compatible other perimeter fence styles in the district. Traditional fencing would be vertical-oriented, wood fencing.

Staff has already discussed the significant size difference between the proposed two-story house and other contributing resources in the district and visual inconsistency of an elongated, two-story building form in this district that is primarily one-story structures.

6. The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.

#### Inconsistent

The proposal includes a front porch which takes up approximately 60% of the front façade of the main massing. It is common for the front porch to be smaller than and offset from the main massing. The inconsistency found in this plan is the porch roof, designed as a shed roof with a 3:12 pitch, not matching the roof form of the main building roof form. It is traditional for porch roofs to use the same roof form and pitch as the main roof form. This is discussed more in detail in criterion 8.

7. The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.

#### Inconsistent Wall Cladding:

The proposed new construction will feature wall cladding of stucco and brick. While stucco and brick are commonly used for foundations in the district, they are not materials found as wall cladding in the district, except for the three Mission Revival style buildings, which are all multi-family. The elevations also include a horizontal banding between the first and second floor, but the banding seems to be located just above the first-floor windows. This creates a

shorter wall on the first floor compared to the second floor, creating a squat appearance where the building looks heavier.

#### **Roof Cladding:**

The proposed roof cladding is a standing seam metal roof. Staff could not find another structure in the Southeast Kenwood district with a metal roof, as the large majority of roof cladding in the district is asphalt shingles. While the *Design Guidelines* states that metal roofing is common for Frame Vernacular style, it is not a common roof cladding material for the district, where the structures were primarily constructed in the 1920s through the 1950s. Popular roofing materials for that period were asphalt and asbestos shingles.

Staff finds that introducing a glossy material with vertical texture on a tall, twostory new construction would be aesthetically out of keeping with the district's character and is incompatible with the surrounding contributing resources.

A previous application (COA 19-90200015) to install roofing at 2120 Burlington Ave N, a contributing resource located in this district, was denied by CPPC in 2019. Other proposals to install metal roofs in the Kenwood local historic districts have consistently been denied in the past few years.

8. The roof shape of the new construction shall be visually compatible with contributing resources in the district.

#### Inconsistent

Traditionally, two-story structures in the Southeast Kenwood district have one roof form for the second story, which is traditionally in this neighborhood a front gable or hipped roof. The front porch of these structures generally replicates the same roof form as the main mass of the building, as shown in Figure 7 below.





Figure 7: 2125 Burlington Ave N (left) and 2142 Burlington Ave N (right). The two-story massing is one simple roof form, and the front porch roof utilizes the same form as the two-story roof.

The proposal utilizes a mixture of roof forms on the second story, mixing an elongated hipped roof with a front gable projection on the second floor. The proposed front porch incorporates a shed roof, which does not match main roof forms on the second story.

The application also includes a shed dormer-type roof form on the streetside elevation of the house. In this district, shed roof dormers are not normally found only on a side elevation. Traditionally in this district, the dormers found on a second-story massing are front (and sometimes rear) dormers for side

gable, Craftsman style houses (e.g., 2143 Burlington Ave N) or small, hipped dormers on American Foursquare style houses (e.g., 2159 4<sup>th</sup> Ave N).

9. Appurtenances of the new construction such as walls, gates and fences, vegetation and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.

#### Inconsistent

The proposal includes a solid, masonry perimeter wall that is six feet in height. Traditional walls and fences in the Southeast Kenwood district are vertical, oriented wood fencing in a traditional style. A solid, masonry wall is not visually compatible with the contributing resources in the district.

The site plan also includes a swimming pool, which is specified to be done by others. Typically, swimming pools should be located behind the house, but also not visible from the public right-of-way, as swimming pools are very modern amenities. Since this is a vacant lot, the site plan should be redesigned to place the pool in the interior side of the rear yard where it would have less visual impact to the local historic district.

10. The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.

#### Inconsistent

The mass of the new construction is significantly larger than the other single-family houses in the district. This proposal will create one long, two-story rectangular massing that is not visually compatible with the other contributing resources in the district.

11. The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.

#### Inconsistent

As stated above, the application proposes a building form that will be an elongated, two-story, rectangular massing. The second floor of the building will be nearly double the length of other two-story structures in the district. The lack of one-story bump outs will also create a flat wall plane without articulation that is not visually compatible contributing resources in the district.

12. New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.

#### Inconsistent

As discussed above, the proposal is not compatible with the massing, size, scale, and architectural features that are predominant in the Southeast Kenwood local historic district.

13. New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.

**Consistent** The proposed new construction could be removed without altering the integrity of the historic district.

Code Section 16.20.010.11. – Building and Site Design

Building materials. Building material standards protect neighboring properties by holding the building's value longer, thereby creating a greater resale value and stabilizing the value of neighboring properties.

1. Building materials shall be appropriate to the selected architectural style and shall be consistent throughout the structure except for one story covered patios or screen enclosures located at least ten feet behind the front façade of the principal structure.

#### Inconsistent

The application states that the structure's architectural style is Folk Vernacular, and the proposal includes an exterior cladding material of stucco with a front gable façade that is clad in brick. The *Design Guidelines* are quite clear that Folk Vernacular is split into two forms: Frame Vernacular for residential structures and Masonry Vernacular for non-residential structures. Since this application is for residential architecture, Frame Vernacular is the appropriate architectural sub-style. Frame Vernacular architecture is generally considered to be an informal style that doesn't follow a formal architectural aesthetic. Many of the Frame Vernacular structures from the 1920s in St. Petersburg feature references to the Craftsman movement in their form and massing. Frame Vernacular architecture in St. Petersburg often includes simple building and roof forms, little ornamentation, and materials with an emphasis on wood, such as double hung windows and horizontal siding.

This application proposes materials that do not conform to the Frame Vernacular aesthetic, such as the use of brick and stucco as exterior cladding materials. The elevations also include a mixture of several different roof forms, with the second story utilizing an elongated hipped roof with a front gable projection and a shed roof dormer on the streetside elevation. These are not elements found in simple Frame Vernacular houses.

Also, the proposal includes a mixture of brick and stucco materials, where the brick wraps around the corner and ends about two feet into the side wall plane, which is flush with the brick veneer. This does not create a consistent use of materials throughout the structure, also creating inconsistency with this criterion.

#### Code Section 16.20.010.5. – Maximum Development Potential

Development potential is different within each district in order to respect the character of the neighborhoods. Achieving maximum development potential will depend upon market forces, such as minimum desirable unit size, and development standards, such as minimum lot size, parking requirements, height restrictions, floor area ratios, maximum building and impervious surface ratios, and building setbacks.

To maintain community character and provide for desirable redevelopment and infill housing, homes shall be built using FARs as set forth herein. Various design standards may be used to increase the FAR and maintain the compatibility of new and modified homes with the existing neighborhood character.

Therefore a maximum FAR is established and FAR bonuses may be permitted if the home incorporates design elements as set forth herein which are intended to be beneficial to the character of the neighborhood and reduce the appearance of mass and bulk from the public view.

The applicant has requested the following FAR Bonuses:

FAR Bonus Design Standard Requested:	Bonus Points Requested:	Staff Analysis:
<b>A.</b> - One story covered front porch with a separate roof structure with a minimum width of 60 percent of the front façade: No bonus is allowed if there is a second story deck, porch or roof structure.	.08	Consistent
I All windows have true or simulated divided light muntins on interior and exterior surfaces	.03	Consistent
L Style, materials and detailing consistent with an Architectural Style in St. Petersburg's Design Guidelines for Historic Properties	.10	Inconsistent
M Planting of larger shade trees between the front façade and the curb - 4" min caliper measured 6" above grade, Spread 8" -10", Height 14-ft to 16-ft, 100 gallon container grown	.02	Consistent
Total FAR Requested by Applicant:	.2 (Max Allowed)	
Total FAR Found Consistent by Staff:		.13

As discussed above, staff does not find that the proposed structure meets Frame Vernacular style as described in the *Design Guidelines for Historic Properties* or McAlester's *A Field Guide to American Houses*, and therefore staff does not find the proposal consistent with design standard **L**., which equals to .10 FAR bonus. This means that the applicant would need to revise the drawings to demonstrate compliance with a .53 FAR, which would equal 3,365.5 SF.

#### Summary of Findings

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- General Criteria for Granting Certificates of Appropriateness: 1 of 5 relevant criteria met.
- Additional Guidelines for New Construction: 1 of 6 relevant criteria met.
- Code Section 16.20.010.11: 1 relevant criterion <u>not</u> met.
- FAR Bonus Request: FAR Bonus criteria meeting .13, which is less than the .2 needed for this proposal.

#### Staff Recommendation and Conditions of Approval

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **DENY** the Certificate of Appropriateness request for a new single-family home with detached garage at 2101 3<sup>rd</sup> Ave. N.

# Report Prepared By: Helly Perkins, Historic Preservationist II Urban Planning and Historic Preservation Division Planning and Development Services Department Report Approved By: 08/03/2022

Date

Derek S. Kilborn, Manager

Urban Planning and Historic Preservation Division Planning and Development Services Department

# Appendix A:

Application No. 22-90200051 and Submittals



# CERTIFICATE OF APPROPRIATENESS

#### **APPLICATION**

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura. Duvekot@stpete.org

	GENERAL INFO	DRMATION		
Property Address	Parcel Identification No.			
Historic District / Landmark Nar	ne	Corresponding Permit Nos.		
Owner's Name		Property Owner's Daytime Phone No.		
Owner's Address, City, State, Z		Owner's Email		
Authorized Representative (Na	me & Title), if applicable	Representative's Daytime Phone No.		
Representative's Address, City	, State, Zip Code	Representative's Email		
APPLICATION TYP	E (Check applicable)	TYPE OF WORK (Check applicable)		
Addition	Window Replacement	Repair Only		
New Construction	Door Replacement	In-Kind Replacement		
Demolition	Roof Replacement	New Installation		
Relocation	Mechanical (e.g. solar)	Other:		
Other:				
	AUTHORIZ	ATION		
been read and that the inform The applicant certifies that the enclosed, will be constructed agrees to conform to all co	nation on this application repries project described in this application and the project accordance with a foundations of approval. It is uservation Commission in no servation commission in no servation.	ormation contained within this application packet has esents an accurate description of the proposed work. oplication, as detailed by the plans and specifications resaid plans and specifications. Further, the applicant understood that approval of this application by the way constitutes approval of a building permit or other ot guarantee approval.		
NOTES: 1) It is incumbent incomplete or in	upon the applicant to subnicorrect information may invite ent's signature, a notarized	nit correct information. Any misleading, deceptive,		
Signature of Owner.		Date		
Signature of Representative:		Date:		



# CERTIFICATE OF APPROPRIATENESS

**APPLICATION** 

COA#

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department by emailing directly to Historic Preservationists Laura Duvekot (<u>Laura.Duvekot@stpete.org</u>) or Kelly Perkins (<u>Kelly.Perkins@stpete.org</u>).

#### PROPOSED SCOPE OF WORK

Please provide a detailed description of the proposed work, organized according to the COA Matrix. Include information such as materials, location, square footage, etc. as applicable. Attach supplementary material as needed.

Building or Site Feature	Photo No.	Proposed Work
reature	NO.	



Re: 2101 3rd Avenue N

Written description explaining how the proposed work complies with the following evaluation criteria: Please refer to Drawing Sheets A1.2, A2.1, A3.1 and A3.2 for reference

1. The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.

Response: Height and Scale is visually compatible with contributing resources in the district and is within Zoning Height and FAR right. As noted, there are a total of eight true two-story single-family structures in the district. The breakdown of the architectural styles is as follows: one (1) Folk Vernacular, one (1) Dutch Colonial Revival, one (1) American Foursquare, two (2) Craftsman, and two (2) Prairie. The proposed new construction would be the ninth true two-story single-family structure in the district and the second Folk Vernacular home. The proposed new structure under the guidance of Folk Vernacular Style maintains a Simple Rectangle Shape as noted on page 16 of the Historic Guidelines.

2. The relationship of the width of the new construction to the height of the front elevation shall be visually compatible with contributing resources in the district.

Response: There are a total of eight true two-story single-family structures in the district. The breakdown of the architectural styles is as follows: one (1) Folk Vernacular, one (1) Dutch Colonial Revival, one (1) American Foursquare, two (2) Craftsman, and two (2) Prairie. The width and Height of the front façade is within Zoning right within side setbacks and max roof height. The proposed new structure is 33 feet wide with the average width to be 32 feet wide within the district.

3. The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.

Response: The proposed new structure proposes windows equally sized and double hung sash windowsthe proposal offers standard double hung simple windows with 4 over 1 as noted on page 18 of the Historic Guidelines. The windows are 3'-4" wide by 6'-0" high relationship- Bedrooms windows must meet FBC egress requirements for clear width. The height and width of window is within range as noted on page 18 of the Historic Guidelines. The ground floor proposes some Pair of windows similar to page 18 of the Historic Guidelines.



4. The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.

Response: The Front elevation relationship of solid and voids is accomplished with elements such the correlation and rhythm of the first and second floor windows as they align with each other – please refer to Front Elevation Drawing A3.1. The Front (South Elevation) (5) equally spaced double hung windows along the second floor align directly above the ground floor windows below. The dining room on the West slightly projects forward engaging the covered porch roof with an asymmetrical, yet balanced façade. This gives the front façade some wall recesses, along the front façade avoiding a flat elevation. Again, this is supported by projections, and openings The windows balance the façade with a rhythm of 2 over 2 on the West end and 3 over 3 windows on the East end- very balanced and logical – aligning with placement of doors and windows as suggested on page 6 of the New Construction in Historic Kenwood .pdf document – thus creating a rhythm of front façade composition that is visually compatible with contributing resources in the district. The fenestration and glazing requirement are within Zoning right as well.

5. The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.

Response: The proposed new construction is setback within zoning right of adjoining buildings and sits on a corner lot. As noted above There are a total of eight true two-story single-family structures in the district. The breakdown of the architectural styles is as follows: one (1) Folk Vernacular, one (1) Dutch Colonial Revival, one (1) American Foursquare, two (2) Craftsman, and two (2) Prairie. The width and Height of the front façade is within Zoning right within side setbacks and max roof height.

6. The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.

Response: Noted. The entrance and porch projection aligns with sidewalk of new construction and follows façade composition as noted on page 6 of the New Construction in Historic Kenwood .pdf document where entrance doors ae typically under porches while the architectural character of the attached elements should match that of the main body.



7. The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.

Response: Noted. The materials and textures of the façade of the new construction is visually compatible with the predominant materials used in the contributing resources in the district. Materials such as cladding of light sand-finish stucco, foundation walls of brick, exposed rafter tails and standing seam metal roof assist in providing a material and texture palette that is visually compatible within the district and aligns with suggested materials of Folk Vernacular Style as noted on page 17 of the Historic Guidelines.

8. The roof shape of the new construction shall be visually compatible with contributing resources in the district.

Response: Noted. The proposed 6.5/12 roof pitch is within the suggested roof pitch range of 5:12-8:12 pitch as noted on page 6 of the referenced New Construction in Historic Kenwood .pdf document- Gable and Hip roofs combined with a lower porch roof parallel to entrance façade are visually compatible. As per the Folk Vernacular Style a Front-facing hipped roof and gable is proposed as noted on page 15 and 17 of the Historic Guidelines.

9. Appurtenances of the new construction such as walls, gates and fences, vegetation, and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.

Response: Noted. The proposed home proposes appurtenances such as walls and gates integrated with landscaping forming a cohesive wall of enclosure along the street. This conceals proposed swimming pool and modern amenities from public view from streets and avenues. The landscaping design is within Zoning right.

10. The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.

Response: As per page 16 of the Historic Guidelines the new construction is of a simple rectangular shape. As per page 8 of the New Construction in Historic Kenwood .pdf document the two-story structure mass is with simple footprint and is central which lowers the visual massing of the building along with a narrow front façade at 33' wide. The mass is further reduced by the lower roof porch massing, asymmetrical yet balanced as noted on page 6 of the document noted above. Again, as stated above



relationship of solid and voids is accomplished with elements such the correlation and rhythm of the first and second floor windows as they align with each other – please refer to Front Elevation Drawing A3.1. The Front (South Elevation) (5) equally spaced double hung windows along the second floor align directly above the ground floor windows below.

11. The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.

Response: The new construction orients its front façade to  $3^{rd}$  avenue north in a vertical directional character. The side yard setback of 12' off  $21^{st}$  Street impedes on wrapping the front porch and front porch roof around the corner. A roof dormer along  $21^{st}$  street animates the façade along the corner lot.

12. New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.

Response: The new construction shall not and does not destroy historic material – the new construction differentiates itself from the old as stated in the Historic Guidelines page 130 "The design of the new building should relate to the architectural styles surrounding the site. While the new structure should be a product of its own time, it should incorporate design elements of the primary architectural style or styles prevalent with the immediate contest and that of St. Petersburg. The proposed new structure under the guidance of Folk Vernacular Style incorporates design elements found within the Folk Vernacular style as noted on page 17 of the Historic Guidelines and as mentioned in the above criteria.

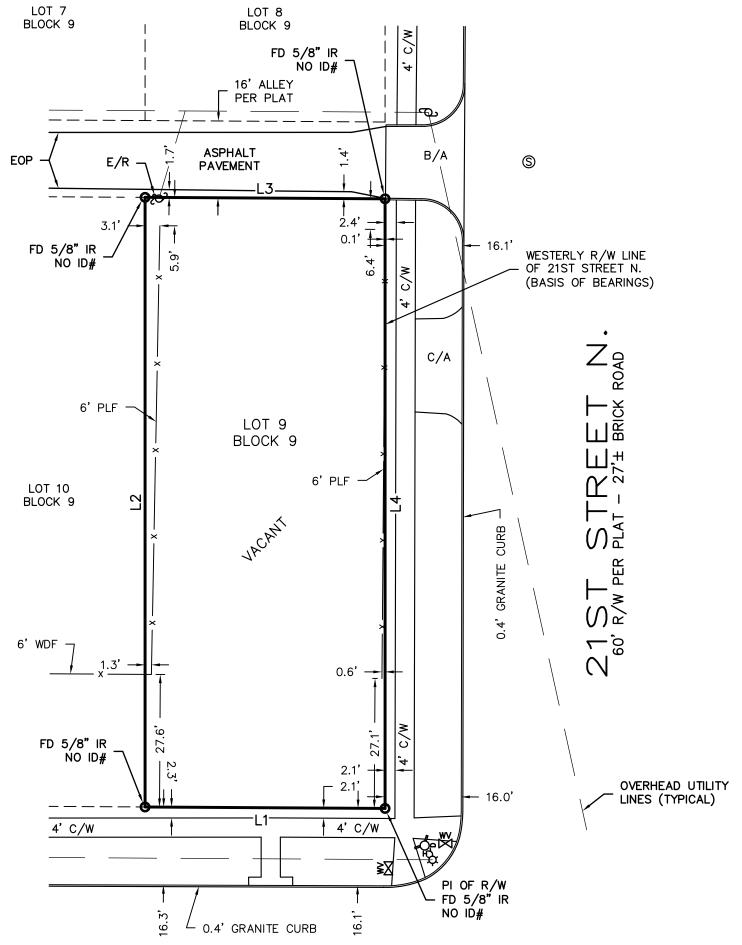
13. New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.

Response: NA

Sergio DeSanto, AIA, Principal Renker Eich Parks Architects 1609 Dr. MLK Jr. Street North St. Petersburg, Fl 33704

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## MAP OF SURVEY SECTION 24, TOWNSHIP 31 SOUTH, RANGE 16 EAST PINELLAS COUNTY, FLORIDA



SITE BENCHMARK: SET MAG N&D, LB #7863 ELEVATION = 45.54(N.A.V.D. OF 1988)

SITE BENCHMARK:

ELEVATION = 46.73(N.A.V.D. OF 1988)

SET MAG N&D, LB #7863



#### **LEGEND**

FD FOUND IR IRON ROD NAIL & DISK N&D MAGNETIC MAG PLAT **MEASURED** RIGHT-OF-WAY POINT OF INTERSECTION LB LICENSED BUSINESS ID **IDENTIFICATION** BRICK APRON B/A CONC CONCRETE C/A C/S CONC APRON CONC SLAB CONC PORCH CONC WALK AIR CONDITIONER WOOD FENCE PLF PLASTIC FENCE EOP EDGE OF PAVEMENT E/R ELECTRIC RISER UTILITY POLE LIGHT POLE WATER VALVE SANITARY SEWER MANHOLE FIRE HYDRANT

#### LEGAL DESCRIPTION:

LOT 9, BLOCK 9, "PLAT OF THE BRONX ADDITION", ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 42, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

#### F.I.R.M. CERTIFICATION:

THE PROPERTY SURVEYED HEREON IS SITUATED IN ZONE "X" AS DELINEATED ON FLOOD INSURANCE RATE MAP PANEL NO. 12103C0218G, DATED SEPTEMBER 3, 2003.

#### SURVEYOR'S NOTES:

- 1. NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN. 2. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED THIS SURVEYOR, EXCEPT AS SHOWN. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT OR OWNERSHIP AND ENCUMBRANCE REPORT.
- 3. SURVEY FIELD WORK WAS COMPLETED ON AUGUST 6, 2021.

8/9/21

6103

- 4. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 5. LEGAL DESCRIPTION SHOWN HEREON WAS OBTAINED FROM DEED RECORDED IN O.R. BOOK 7175. PAGE 584, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

Certified to:

6. BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING OF SOUTH 00°00'00" WEST FOR THE WESTERLY RIGHT-OF-WAY LINE OF 21ST STREET N. AS SHOWN HEREON.

					TRB DEVELOPMENT ENGLEWOOD, LLC
8-6-21	BOUNDARY SURVEY	RJD	ACJ	JHK	CHICAGO TITLE INSURANCE COMPANY
Date	Description of Work	Party Chief	Drawn by	Checked by	TOWN SQUARE TITLE, LTD.
THIS SU	RVEY NOT VALID UNLESS IMPRINTED WITH AN EME	BOSSED SU	RVEYOR'S	SEAL	
SURVEY	OR'S CERTIFICATE: This certifies that a survey o	f the prop	erty desc	ribed	W.C. SHERRILL AND COMPA
	was made under my supervision and that the dro curate representation thereof and meets the stan				SURVEYING • MAPPING • CONSULT

P.S.M. No. \_

surveys set forth in Chapter 5J—17 by the Florida Board of Land Surveyors

document was authorized by:

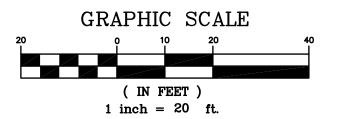
JAMES H. KIRK, JR.

pursuant to Section 472.027 Florida State Statutes. The seal appearing on this

SHERRILL AND COMPANY, LLC SURVEYING • MAPPING • CONSULTING

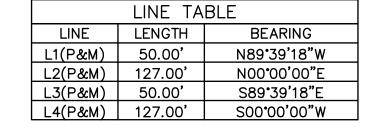
P.O. BOX 203 • ODESSA, FLORIDA 33556 P: 813-345-4270 • WEBSITE: WWW.WCSHERRILL.COM State of Florida, Certificate of Authorization LB #7863

Project No.: 21-07-334 | Date: 8-6-21 Section 24 Township 31 S Range 16 E

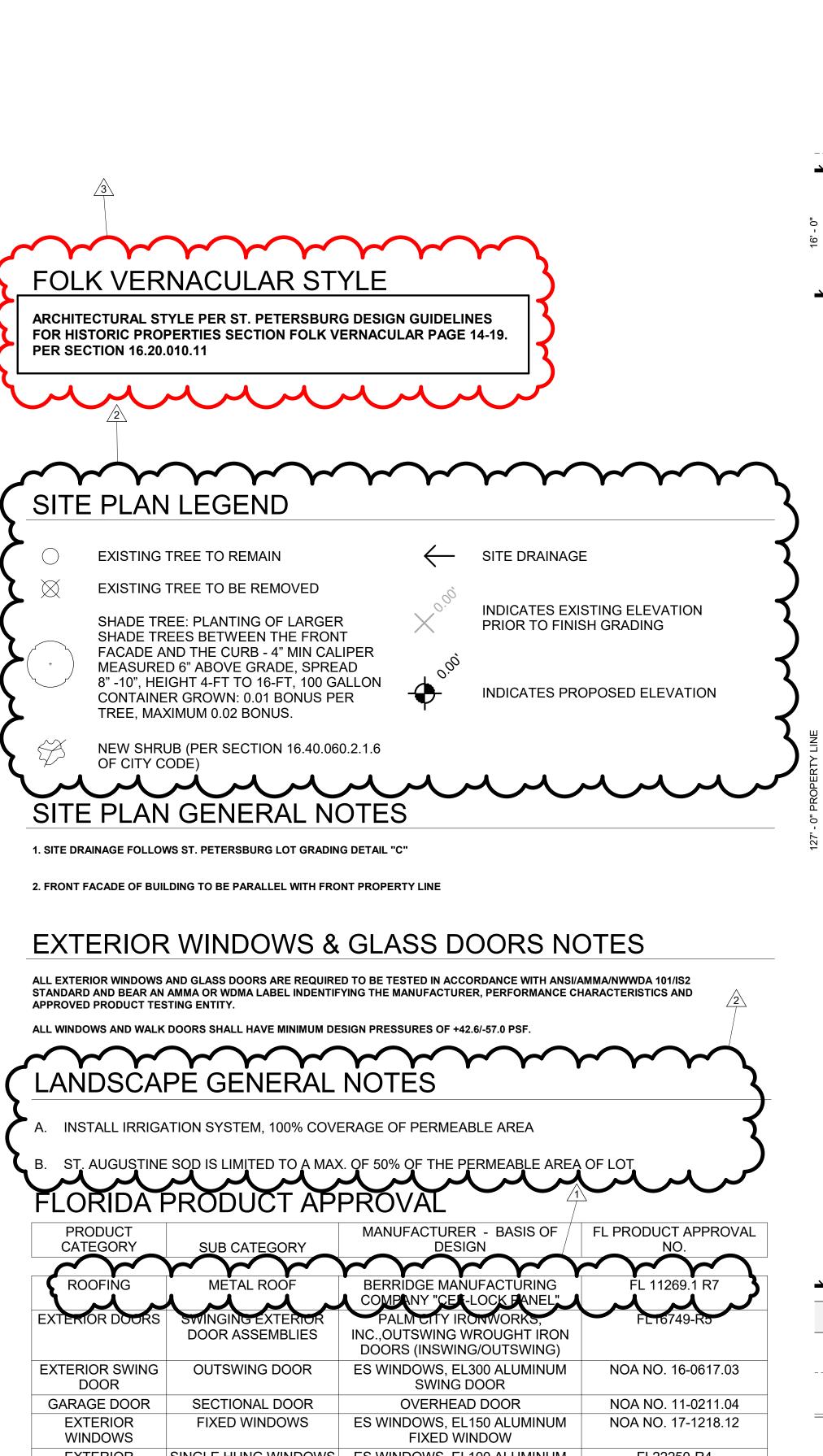


60' R/W PER PLAT - 27'± BRICK ROAD

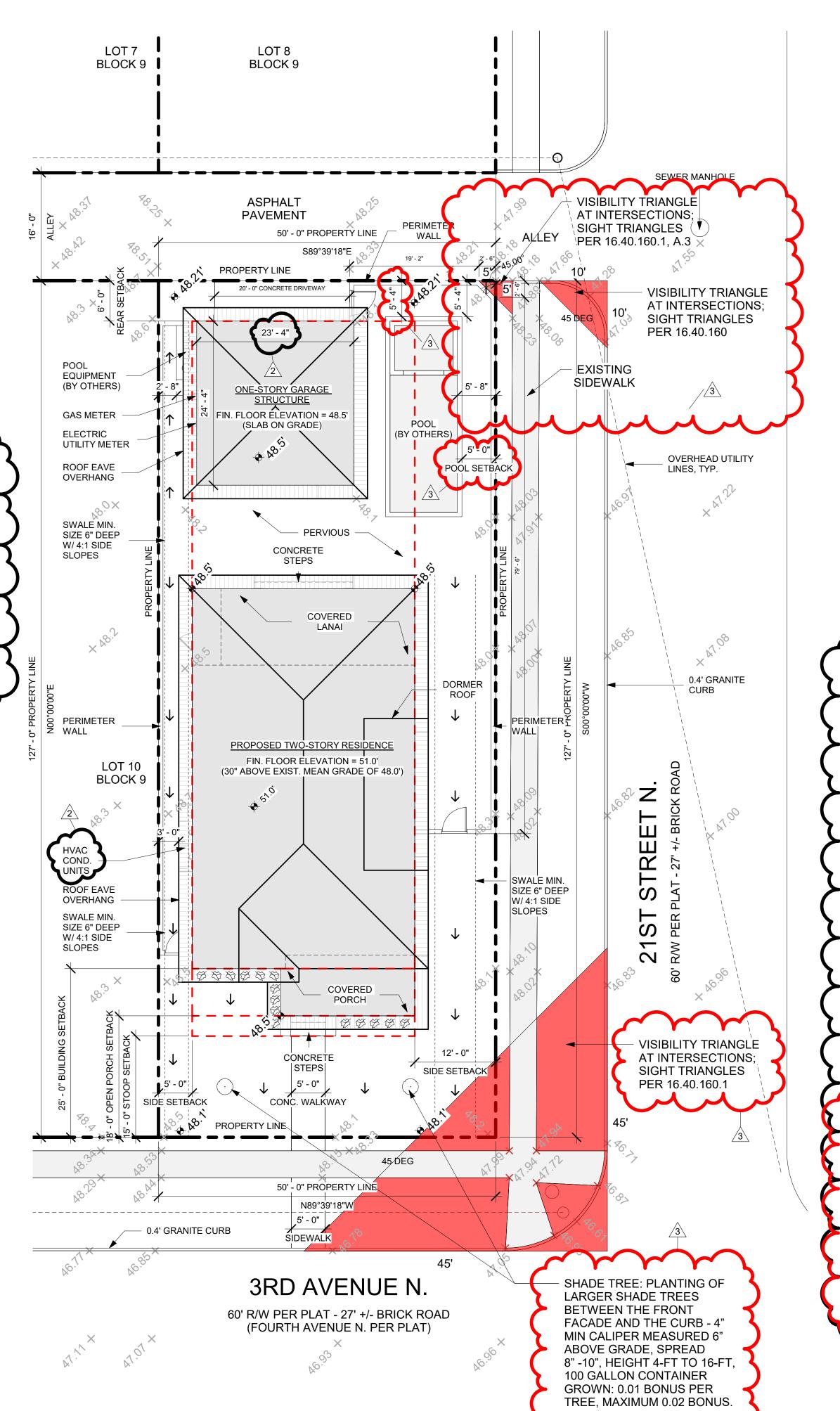
(FOURTH AVENUE N. PER PLAT)







EXTERIOR SINGLE HUNG WINDOWS ES WINDOWS, EL100 ALUMINUM FL22250-R4 WINDOWS SINGLE HUNG WINDOW THE INTENT OF THIS PRODUCT APPROVAL LIST IS A BASIS OF DESIGN. ALL RODUCTS SPECIFIED BY THE ARCHITECT HAVE APPROVAL FROM STATE OF FLORIDA. ANY SUBSTITUTIONS MADE BY THE GENERAL CONTRACTOR SHALL ALSO HAVE FLORIDA PRODUCT APPROVAL AND MEET OR EXCEED THE PERFORMANCE AND QUALITY OF PRODUCTS.



**VICINITY MAP** 



# SETBACK/SITE INFORMATION

FLOOD ZONE:

**ZONING DISTRICT:** NT-2, NEIGHBORHOOD TRADITIONAL SINGLE FAMILY

#### NT-2 BUILDING SETBACKS - (IF BUILDING HEIGHT IS +18 FT. TO 24 FT. MAX)

FRONT YARD: **STOOP** 15 FT. **OPEN PORCH** 18 FT. BUILDING 25 FT.

**INTERIOR SIDE YARD (FOR LOTS** EQUAL TO OR LESS THAN 60 FT.

\*EXCEPTION # 2 - 50 FT. PROPERTY WIDTH: 5 FT. 12 FT. STREET SIDE YARD:

**REAR YARD, WITH ALLEY** (FOR ALLEYS EQUAL TO OR

TOTAL SITE SF:	6,350 SF	CORNER YARD:	•
BUILDING SF:	2,619 SF	FRONT + STREET SIDE Y	ARD
DRIVEWAY SF:	108 SF	TOTAL SF:	2,474 SF <b>&lt;</b>
WALKWAY SF:	76 SF		
PERIMETER WALL SF:	149 SF	FRONT + STREET SIDE YA	ARD <
POOL SF:	283 SF	TOTAL IMPERVIOUS SF:	488 SF
HVAC/POOL EQUIPMENT PADS SF:	44 SF		•

**IMPERVIOUS SOIL RATIO: TOTAL PERVIOUS SOIL SF:** 

IMPERVIOUS SOIL RATIO: 5% BELOW MAX. CORNER YARD ISR 52% < 65% MAX. SECTION 16.40.060.2.1.2

20% < 25% MAX.

**IMPERVIOUS SOIL 13% BELOW MAX** 

# FAR CALCULATION

TOTAL SITE SF = 6,350 SF

TOTAL IMPERVIOUS SOIL SF:

MAX FAR ALLOWED IS .40 BASE PLUS **POTENTIAL OF .20 = 0.60, 3,810 TOTAL SF** 

FAR SHOWN IS .60, 3,836 TOTAL SF

### FAR BONUS POINTS REQUESTED:

\*SEE RESIDENTIAL ZONING COMPLIANCE FORM (FLOOR AREA RATIO TABLE):

MAX. ALLOWED BONUS POINTS: 0.08 BONUS POINTS REQUESTED: 0.08

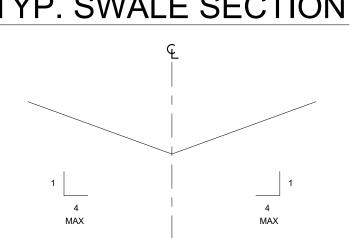
MAX. ALLOWED BONUS POINTS: 0.06

MAX. ALLOWED BONUS POINTS: 0.03 BONUS POINTS REQUESTED: 0.03

MAX. ALLOWED BONUS POINTS: 0.10 BONUS POINTS REQUESTED: 0.10 M. MAX. ALLOWED BONUS POINTS: 0.02 BONUS POINTS REQUESTED: 0.02

MAX. TOTAL BONUS POINTS ALLOWED: 0.20 TOTAL BONUS POINTS REQUESTED: .23

# TYP. SWALE SECTION



RENKER EICH PARKS ARCHITECTS 1609 DR. MARTIN LUTHER KING JR. STREET NORTH ST. PETERSBURG, FLORIDA 33704 TEL 727.821.2986 LIC. AAC001447

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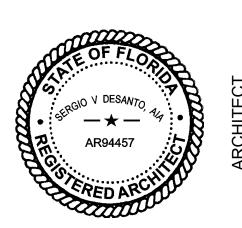
**ARCHITECT** 

RENKER EICH PARKS ARCHITECTS 1609 DR. MARTIN LUTHER KING JR. STREET NORTH ST. PETERSBURG, FLORIDA 33704 727.821.2986 SERGIO@REPARCH.COM

STRUCTURAL ENGINEERING JAMES RAGUCKAS, PE 806 TIMBER POND DRIVE, BRANDON, FL 33510 813-503-0717

OWNER JON MEYER

813-385-8935 JON.MEYER@TRBDEVELOPMENT.COM



Permit Comments

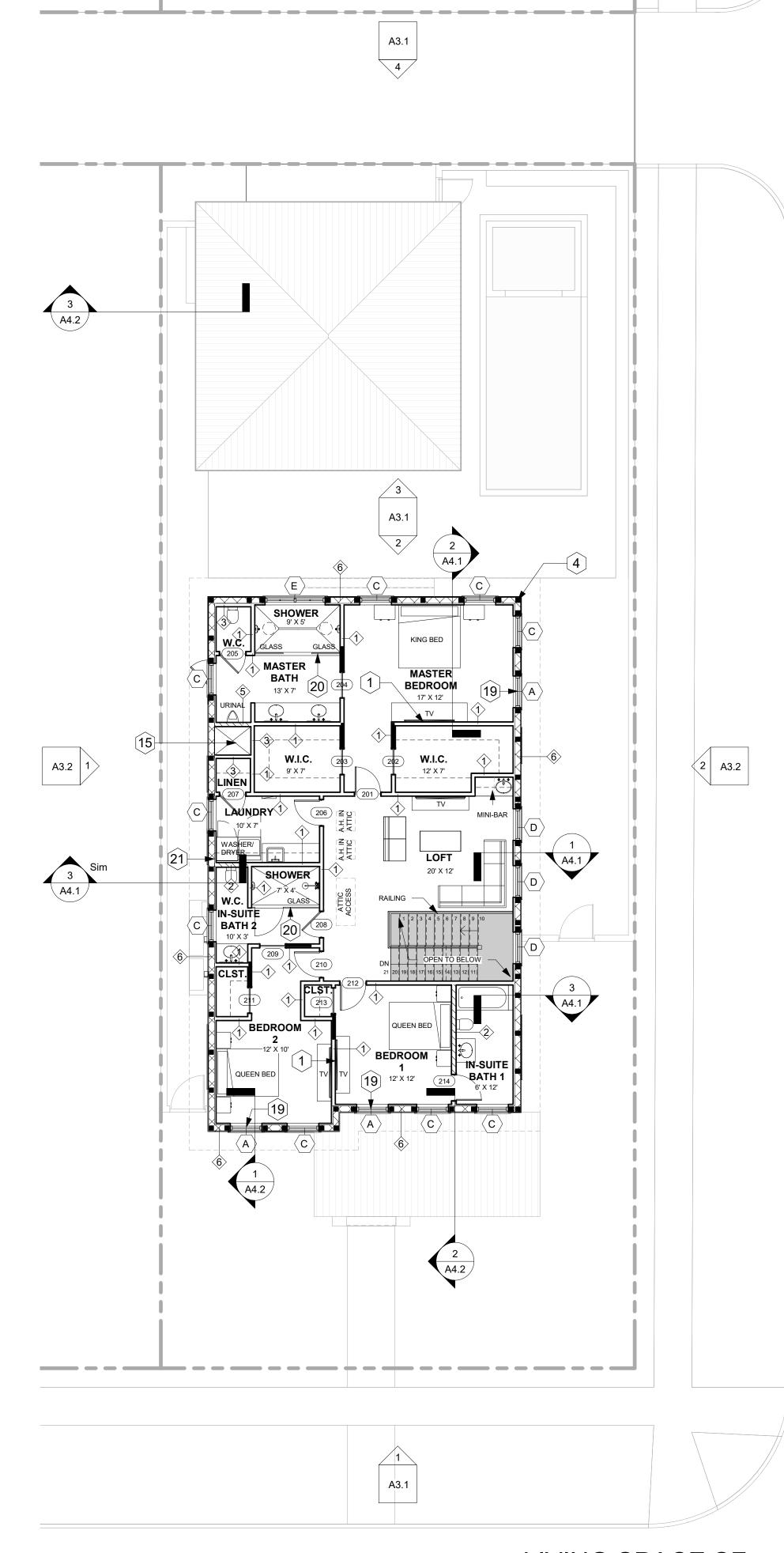
**Permit Comments** 5.28.22 CYCLE 2 6.24.22

Date

3.18.22

TRB DEVELOPMENT PROJECT STATI Project number 2/23/22 Drawn by Checked by

As indicated



# LIVING SPACE SF

1,317 SF - 1ST FLOOR LIVING SPACE 1,570 SF - 2ND FLOOR LIVING SPACE 2,887 SF - TOTAL CONDITIONED LIVING SPACE

# SPECIFIC NOTES

- 1 T.V. WALL, PROVIDE BLOCKING, SEE A7.1
- 2 CRAWL SPACE ACCESS OPENING PER FBC-R R408, MINIMUM 16" X 24" OPENING, PROVIDE 2" CONCRETE SILL ON BOTTOM OF OPENING, SEE ELEVATIONS
- 3 PERIMETER WALL AND GATE, SEE DETAILS
- 4 PROVIDE FILLED CELL W/ (1) #5 CONT. FROM FOOTING TO BOND BEAM IN CONC. FILLED CELL AT CORNERS, 4' - 0" FROM CORNERS, ADJACENT TO OPENINGS, @ 4' - 0" O.C. MAX, TYPICAL, SEE STRUCTURAL
- 5 POOL EQUIPMENT (BY OTHERS)
- 6 POOL (BY OTHERS)
- 7 SETBACK LINE
- 8 PROPERTY LINE
- 9 LOW PROFILE CONDENSING UNITS, SEE HVAC DESIGN
- 10 HOSE BIBB
- 11 GAS METER, COORDINATE W/ UTILITY COMPANY
- 12 ELECRTIC UTILITY METER, COORDINATE W/ UTILITY COMPANY
- 13 TANKLESS NATURAL GAS WATER HEATER
- 14 PLUMBING CHASE, 12" X 24"
- 15 DUCT CHASE
- 16 PERIMETER LANDSCAPING
- 17 PERVIOUS GROUND COVER
- 18 PRECAST LINTEL, OPEN BELOW FOR DRAINAGE
- 19 EGRESS PER FBC-R R303.5, SEE SCHEDULE
- 20 TEMPERED GLASS SHOWER ENCLOSURE
- 21 DRYER EXHAUST VENT, EXHAUST DUCT RIGID METAL MAX. 25 FEET, PER FBC R 2017 M1501.1

# **BUILDING AREAS - GSF**

AREA (GROSS SQUARE FOOTAGE) ROOM COVERED LANAI 374 SF FIRST FLOOR 1447 SF 177 SF FRONT PORCH GARAGE 584 SF SECOND FLOOR 1821 SF TOTAL 4403 SF

# WALL TYPE LEGEND

- 2X4 WOOD STUD WALL @ 16" O.C., FILLED FULL WITH BATT INSULATION, 1/2" THICK GYPSUM WALL BOARD EACH SIDE
- 2> 2X6 WOOD STUD WALL @ 16" O.C., FILLED FULL WITH BATT INSULATION, 1/2" THICK GYPSUM WALL BOARD EACH SIDE
- 3 2X4 WOOD STUD WALL @ 16" O.C., FILLED FULL WITH BATT INSULATION, 1/2" THICK GYPSUM WALL BOARD ONE SIDE
- (4) 5/8" STUCCO PER ASTM C926-17 OVER SELF-FURRING PAPER BACKED METAL LATH ON BOTH SIDES OVER REINFORCED 8" CMU BLOCK WALL
- 2X6 WOOD STUD WALL @ 16" O.C., FILLED FULL WITH BATT INSULATION, 1/2" THICK GYPSUM WALL BOARD ONE SIDE
- 1/2" GWB OVER 3/4" P.T. FURRING STRIPS @ 16" O.C. ON 3/4" FOIL FACED POLYISO BOARD (R-7.8), OVER REINFORCED 8" CMU BLOCK WALL, SEE WALL SECTIONS AND STRUCTURAL

\*USE CEMENTITIOUS MR BOARD @ WET AREAS OR SCHEDULED TILE, CONTRACTOR TO VERIFY



RENKER EICH PARKS ARCHITECTS

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STRUCTURAL ENGINEERING JAMES RAGUCKAS, PE 806 TIMBER POND DRIVE, BRANDON, FL 33510 813-503-0717

JON MEYER

813-385-8935 JON.MEYER@TRBDEVELOPMENT.COM



Date

Description

TRB DEVELOPMENT

JON MEYER HOUSE

FLOOR PLANS

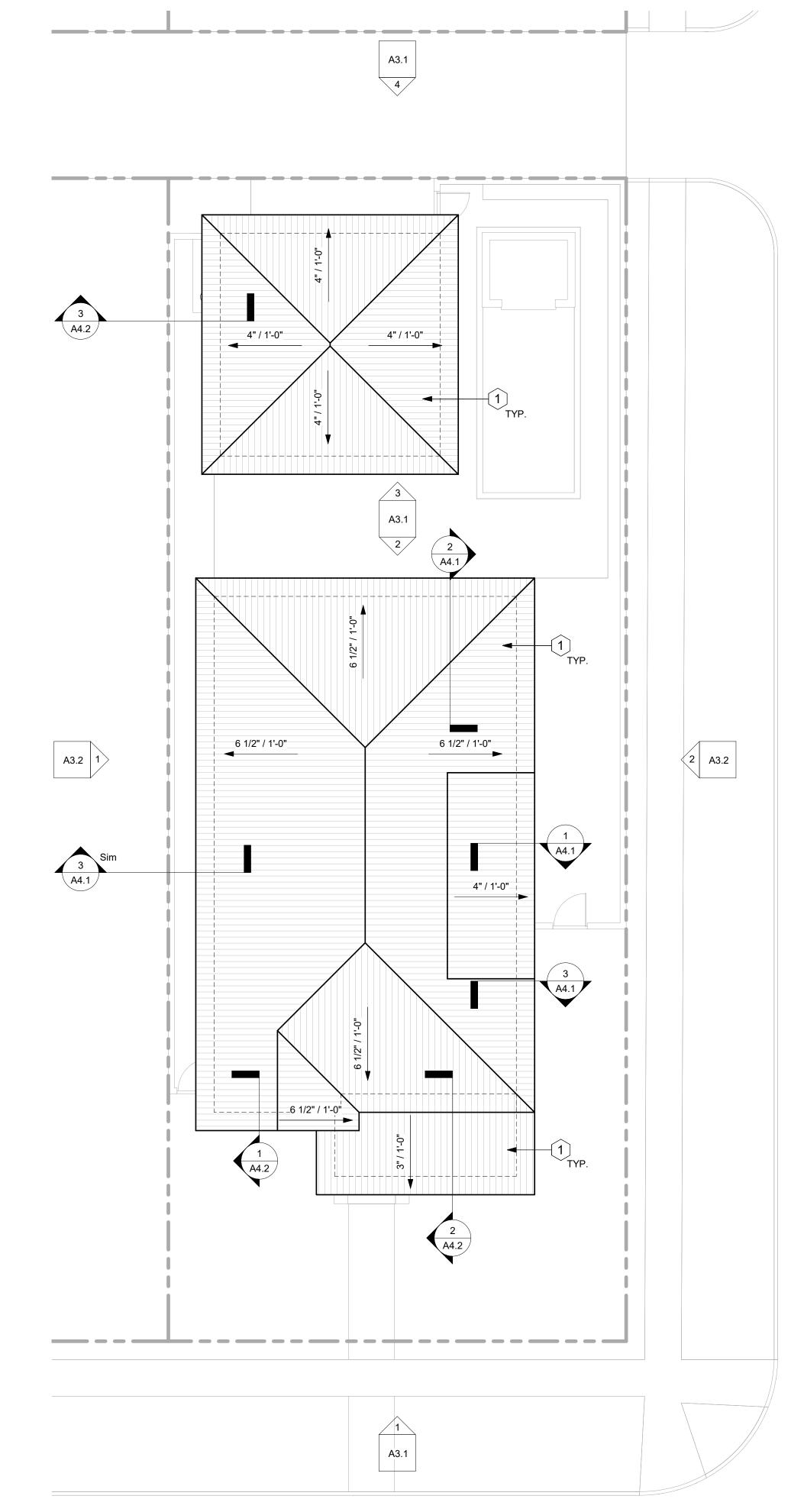
PERMIT SET PROJECT STATUS Project number 2/23/22 Drawn by SDS Checked by

A1.2

Scale

FIRST FLOOR

2 SECOND FLOOR



# SPECIFIC NOTES

1 STANDING SEAM METAL ROOF PER FOLK VERNACULAR STYLE, BASIS OF DESIGN BERRIDGE MANUFACTURING COMPANY "CEE-LOCK PANEL" SYSTEM OVER SELF-ADHERING, HIGH TEMPERATURE UNDERLAYMENT ON PLYWOOD SHEATHING, SEE STRUCTURAL

NOTE:
ROOFING SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S
SPECIFICATIONS AND FLORIDA PRODUCT APPROVAL

# REP

RENKER EICH PARKS ARCHITECTS 1609 DR. MARTIN LUTHER KING JR. STREET NORTH ST. PETERSBURG, FLORIDA 33704 TEL 727.821.2986 LIC. AAC001447

WWW.REPARCH.COM

#### **ARCHITECT**

RENKER EICH PARKS ARCHITECTS

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# STRUCTURAL ENGINEERING JAMES RAGUCKAS, PE 806 TIMBER POND DRIVE, BRANDON, FL 33510 813-503-0717

# JON MEYER

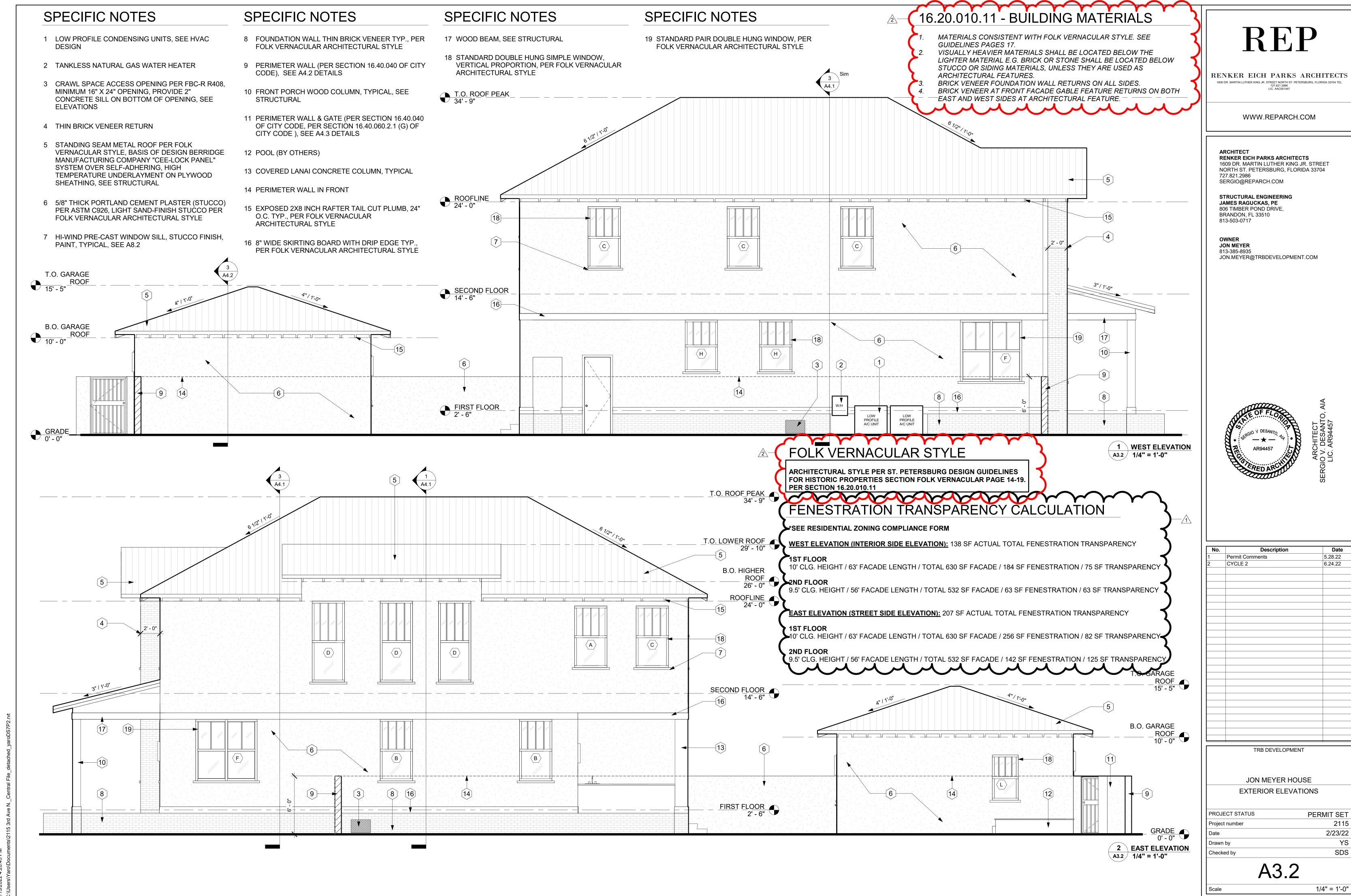
813-385-8935 JON.MEYER@TRBDEVELOPMENT.COM



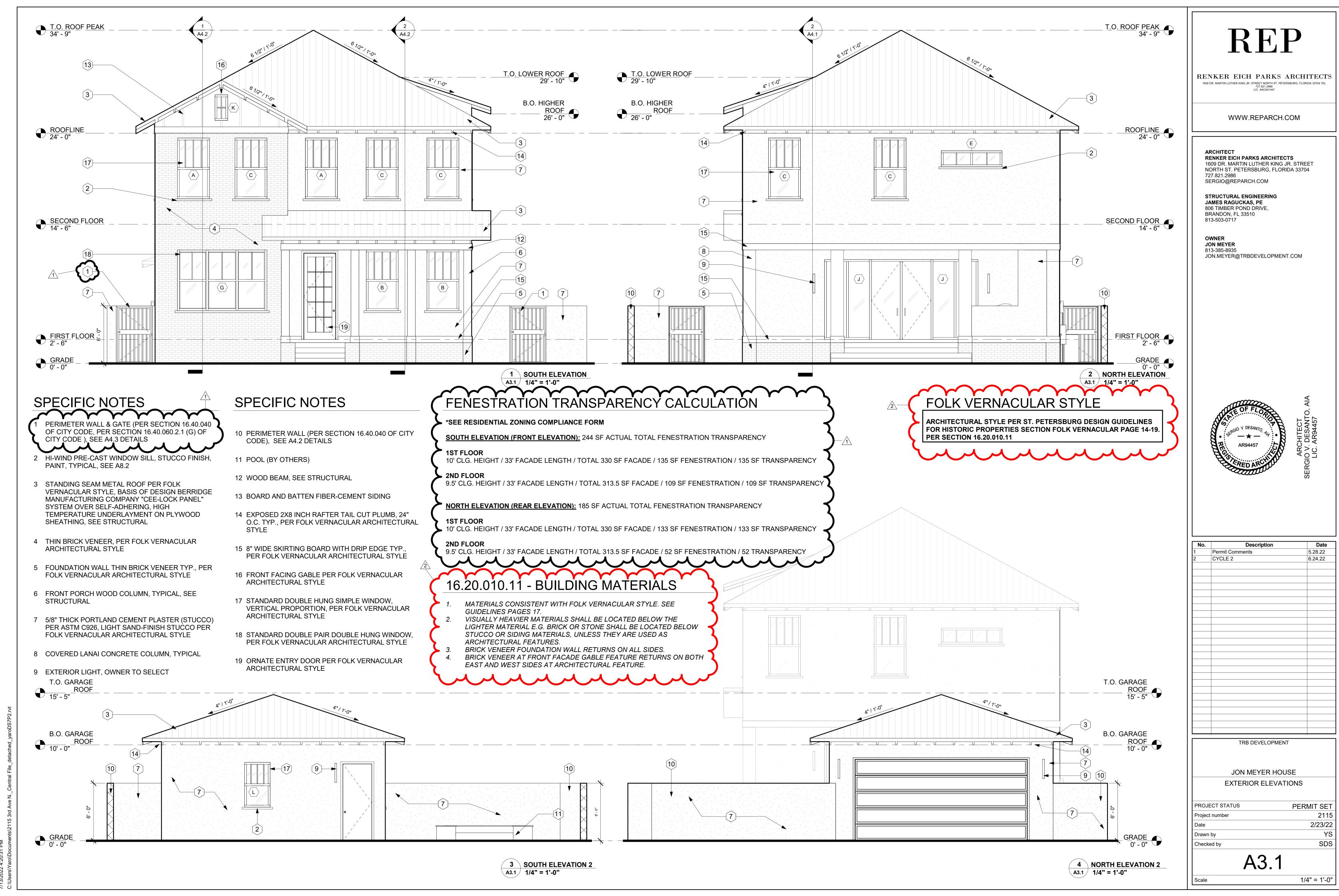
	TR	B DEVELOPME	ENT
	JON	MEYER HO	USE
	F	ROOF PLAN	S
PROJE	CT STATUS		PERMIT SET
Project	number		2115
Date			2/23/22
Drawn	ру		YS

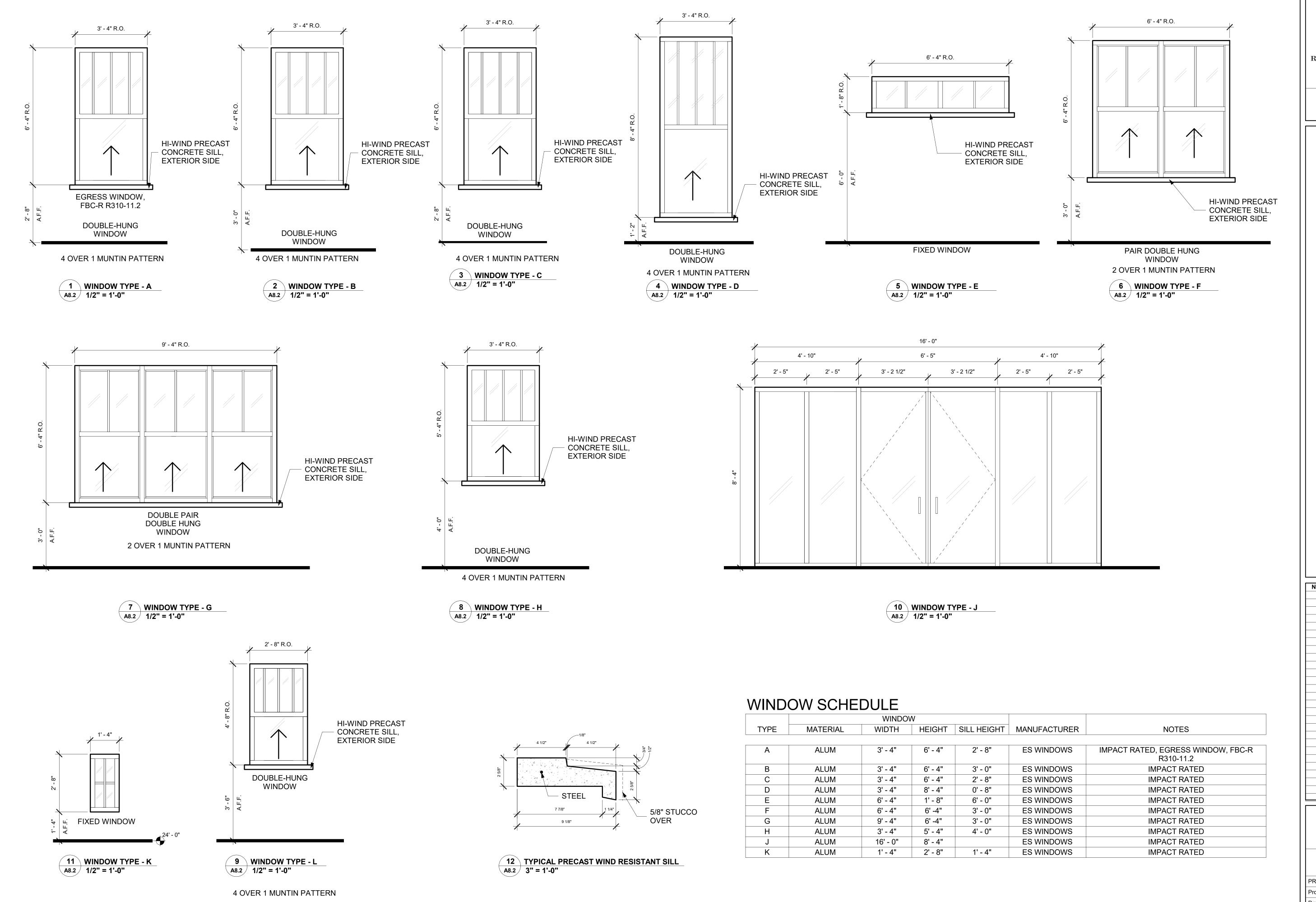
A2.1

1/8" = 1'-0"



1/13/2002 4:20:45 DM





REP

RENKER EICH PARKS ARCHITECTS

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STRUCTURAL ENGINEERING JAMES RAGUCKAS, PE 806 TIMBER POND DRIVE, BRANDON, FL 33510 813-503-0717

OWNER JON MEYER

813-385-8935 JON.MEYER@TRBDEVELOPMENT.COM



No. Description Date

JON MEYER HOUSE
WINDOW SCHEDULE

TRB DEVELOPMENT

PROJECT STATUS
PERMIT SET
Project number
2115
Date
2/23/22
Drawn by
YS
Checked by
SDS

A8.2

Scale

As indicated









#### CITY OF ST. PETERSBURG PLANNING & ECONOMIC DEVELOPMENT DEPT.

DEVELOPMENT REVIEW SERVICES DIVISION

Neighborhood Traditional Analysis Calculator				
Site Address:	2101 3rd Avenue North, St. Petersburg, FL 33713			
Parcel ID or Lot #:	24-31-16-11808-009-0090			
Zoning District:	NT-2			
Permit # if Known				
1st Submittal Date:				
Revision Date:				

Note: Lot Area and One of the two below lines must be filled in for results to show in grey fields below.

Lot Area in Sq Ft	6,350
Front Yard Area in Sq Ft (area between the front building setback line & the front property line)	
OR	
Front and Street Side yard Area Combined in Sq Ft (Front = area between the front building setback line	
& the front property line, Side = area between the Street Side building setback line & the Street Side	ı
property line)	2,474

Only fill in numerical values in this calculator in the white cells, grey cells have formulas embedded

16.20.010.5 Maximu	16.20.010.5 Maximum Development Potential							
			BUILDING COV	'ERAGE				
Includes all enclosed structures.								
	Lot Total	% of Building Coverage Area Allowed	Square Feet of Building Coverage Allowed	Actual Building Coverage in Square Feet	Actual Building Coverage in Percentage			
If primary is not one	·				J			
story	6,350	55%	3,493	2,581	40.65%			
OR	OR OR							
If primary is one story	6,350	60%	3,810		0.00%			

#### **IMPERVIOUS SURFACE RATIO (Site Ratio)**

Impervious surface means a surface that has been compacted or covered with a layer of material so that it is resistent to or prevents infiltration by stormwater. It includes, but is not limited to, roofed areas, pools, and surfaces such as compacted sand, limerock, or clay, as well as conventionally surfaced streets, sidewalks, parking lots, pavers, and other similar surfaces. For purposes of calculating the ISR, 50 percent of the surface area of decks shall be included as impervious surface.

Deck means a structure consisting of a floor that is raised above the finished grade of the lot, typically, the structure is elevated on piers and constructed of wood or simulated wood materials. The pier construction eliminates the need for changes to the existing grade.

		% of			Actual Impervious
	Lot Total	Impervious		Area In Square	•
	Square Feet	Area Allowed	Sq Ft Allowed	Feet	Percentage
Entire Site	6,350	65%	4,128	3,291	51.83%
Interior Lot - Front					
Yard	0	45%	0		#DIV/0!
OR					
Corner Lots Only -					
Front Yard and Street					
Side Yard Combined	2,474	25%	619	478	19.32%

email devrev@stpete.org for a digital version or dowload at www.stpete.org/LDR

#### FLOOR AREA RATIO

Floor area ratio (FAR) is the measurement of intensity of building development of a site. A floor area ratio is the relationship between gross floor area on a site and the gross land area. The FAR is calculated by adding together the gross floor area of all buildings on the site and dividing the sum by the net land area. For example, a floor area ratio of 1.0 means one square foot of building may be constructed for every one square foot of lot area.

In the NT zoning districts the FAR includes any enclosed space above the required design flood elevation line, including enclosed garage space, but excludes that portion of the enclosed space that is below the reguired design flood elevation and up to 500 sf of the floor area of any detached accessory dwelling unit.

			Total Square	
			Feet	
Total Allowed FAR				
Base	0.40		2,540	
FAR Potential with				
Bonuses Requested				
from Next Page - But				
cannot exceed max				
Immediately below				
this row			0	
Max FAR Allowed is				
.40 base plus potential				
of .20	0.60		3,810	

				<u> </u>
	Proposed Gros	s Floor Area	New Plus Existi	ng
Actual First Floor (Exclude Percentage o	f Space Below Desig	r Flood		
Elevation)			1,447	
Actual Second Floor			1,821	
Attic if Accesible via Stair				
Actual Garage			568	
Actual Other Enclosed				
500 Square Foot Exemption for Accesso	ry Dwelling Unit (En	ter as		
Negative 500)				
	Tot	al FAR		
	Red	uested	3,836	
	Ma	FAR		
	Allo	wed	3,810	

#### FLOOR AREA RATIO

Residential Floor Area Ratio Bonus. An FAR bonus of up to 0.20 shall be granted when structures incorporate design elements set forth herein. The following options may be utilized in any combination, however, the maximum FAR bonus is 0.20.

a. One story covered front porch with a separate roof structure with a minimum width of 60% of the front façade: 0.08 bonus. No bonus is allowed if there is a second story deck, porch or roof structure.  b. Additional second story front setbacks: .01 bonus for every 1 foot of additional front setback of the entire facade, and .005 bonus for every 1 foot of additional front setback of at least one third of the facade but which is less than the entire facade, no bonus is allowed unless the setback is at least six feet, maximum 0.10 bonus. No bonus is allowed if there is a second story deck, porch or roof structure.  c. Additional second story side setbacks: .01 bonus for every 1 foot of additional side setback of the entire façade, maximum 0.05 bonus per side.  d. Total residential floor area of the second story does not exceed 75% of the first story (excludes garage sf): 0.05 bonus.  e. Reduction of the height of both the peak and roofline of a two story building from the maximum allowed height: 0.02 bonus per foot, maximum 0.06.  o.06  f. The entire peak of the primary roof structure of the front façade is parallel to the front property line: bonus 0.02, or if the entire peak of the primary roof structure of the front façade is parallel to the front façade is parallel to the front façade is parallel to at least 20% of the width of the front façade: 0.04 bonus.  0.04  g. Side façade articulation: side facades which feature offsets of at least two feet in depth that are at least twelve feet in length that divide the building design and are in the front two thirds of the side facade: 0.02 bonus per side, maximum 0.04.  h. Front facade articulation: front facades (excluding the porch) which feature offsets of at least six feet in depth for a minimum of one third of the front façade, 0.06 bonus for each additional foot, maximum 0.10  i. All windows have true or simulated divided light muntins on interior and exterior	Bonus Requested  0.08	A1.3
a. One story covered front porch with a separate roof structure with a minimum width of 60% of the front façade: 0.08 bonus. No bonus is allowed if there is a second story deck, porch or roof structure.  b. Additional second story front setbacks: .01 bonus for every 1 foot of additional front setback of the entire facade, and .005 bonus for every 1 foot of additional front setback of at least one third of the facade but which is less than the entire facade, no bonus is allowed unless the setback is at least six feet, maximum 0.10 bonus. No bonus is allowed if there is a second story deck, porch or roof structure.  c. Additional second story side setbacks: .01 bonus for every 1 foot of additional side setback of the entire façade, maximum 0.05 bonus per side.  d. Total residential floor area of the second story does not exceed 75% of the first story (excludes garage sf): 0.05 bonus.  e. Reduction of the height of both the peak and roofline of a two story building from the maximum allowed height: 0.02 bonus per foot, maximum 0.06.  f. The entire peak of the primary roof structure of the front façade is parallel to the front property line: bonus 0.02, or if the entire peak of the primary roof structure of the front façade is parallel to the front property line and the roof has dormer(s) which are equal to at least 20% of the width of the front façade: 0.04 bonus.  g. Side façade articulation: side facades which feature offsets of at least two feet in depth that are at least twelve feet in length that divide the building design and are in the front two thirds of the side facade: 0.02 bonus per side, maximum 0.04.  h. Front facade articulation: front facades (excluding the porch) which feature offsets of at least six feet in depth for a minimum of one third of the front façade, 0.06 bonus for each additional foot, maximum 0.10		
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front property line: bonus 0.02, or if the entire peak of the primary roof structure of the front façade is parallel to the front property line and the roof has dormer(s) which are equal to at least 20% of the width of the front façade: 0.04 bonus.  9. Side façade articulation: side facades which feature offsets of at least two feet in depth that are at least twelve feet in length that divide the building design and are in the front two thirds of the side facade: 0.02 bonus per side, maximum 0.04.  h. Front facade articulation: front facades (excluding the porch) which feature offsets of at least six feet in depth for a minimum of one third of the front façade, 0.06 bonus for each additional foot, maximum 0.10  0.10		
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each additional foot, maximum 0.10 0.10		
the state of the s		
i. All windows have true or simulated divided light muntins on interior and exterior		
surfaces: 0.03 bonus. 0.03	0.03	A8.2
j. One story - principal structure: 0.15 bonus. 0.15		
k. One story - all structures: 0.20 bonus. 0.20		
I. Style, materials and detailing consistent with an Architectural Style in St. Petersburg's		
Design Guidelines for Historic Properties: .10 bonus 0.10	0.1	A3.1,A3.2
m. Planting of larger shade trees between the front façade and the curb - 4" min caliper		
measured 6" above grade, Spread 8" -10", Height 4-ft to 16-ft, 100 gallon container		
grown: 0.01 bonus per tree, maximum 0.02 bonus. 0.02	0.02	A1.1
n. LEED or Florida Green Building Coalition Certification: 0.05 bonus. 0.05		
o. Solar Ready: .02 bonus. 0.02		
Total of Bonuses Request		3

#### Repetitive Design

Design of homes on the same block face on either side of the street or within an adjacent block face on either side of the street shall be varied, such that a substantially similar design will not be replicated. There shall be a minimum separation of three parcels in every direction before a substantially similar design can be repeated. Variation shall include at least three of the following elements:

architectural style, roof	form (principal of	or porch), materials, architectural details (doors, windows, columns, porches).
Yes	No	
	X	

#### 16.20.010.11 Building and Site Design

Wall composition and transparency.

Doors, windows and other appropriate fenestration, architectural details, and features shall be incorporated into all sides of a building. There shall be no blank facades, except that garages located at the rear one-third of the lot may have blank facades but not on the street side.

No portion of a facade shall contain a blank area greater than 16 feet in width.

#### Facade is the face or elevation of a building:

To determine the façade area:

The area of the regulated exterior facade corresponds to the height measurement from the finished floor to the ceiling of the interior space multiplied by the exterior length.

Less any intersecting wall(s) and exterior roof structure(s) within the above area.

For multiple story building; the exterior façade area corresponding to any floor joist(s) is/are not included.

Front porches shall only be included when flush with the side façade of the building. Rear porches shall not be included.

Fenestration - windows, doors and other exterior openings in a building and includes trim, shutters, columns and other Entry doors and garage doors count toward fenestration.

Front and side elevation porch openings with no wall in the background shall count towards fenestration.

Transparency - glass or other transparent or translucent materials that are installed on the exterior façade.

					Square Ft		Square Ft
Height in Feet - Floor			Total Sq. Ft of	Fenestration	Actual	Transparency	Actual
to Ceiling			Façade	Required	Fenestration	Required	Transparency
	Façade Length						
Front Elevation	in Feet			30%		50.00%	
10.00		First Floor		99	135	49.5	135
9.50	33.00	Second Floor	313.5	94.05	109	47.025	109
		Total	643.50	193.05	244.00	96.53	244.00
	Façade Length						
Interior Side Elevation	of front 2/3			20%		50.00%	
10.00		First Floor		126	184		75
9.50	56.00	Second Floor	532	106.4	63	53.2	
		Total	1162.00	232.40	247.00	116.20	138.00
	Façade Length						
Interior Side Elevation	of front 2/3			20%		50.00%	
0.00	0.00	First Floor	_	0		0	
0.00	0.00	Second Floor	0	0		0	
		Total	0.00	0.00	0.00	0.00	0.00
Street Side	Façade Length in Feet			30%		50.00%	
10.00		First Floor	630	189	256		82
9.50		Second Floor		159.6	142	79.8	
3.50	30.00	Total	1162.00	348.60	398.00		207.00
	Façade Length						
Rear Elevation	in Feet			10%		50.00%	
10.00	33.00	First Floor	330	33	133	16.5	133
9.50	33.00	Second Floor	313.5	31.35	52	15.675	52
		Total	643.50	64.35	185.00	32.18	185.00

# FOLK VERNACULAR

Petersburg were built for commercial use out of hollow clay tiles or

1800-1930

Many of the homes and businesses built during St. Petersburg's earliest period of construction are referred to as having a [Folk] Vernacular style. The term "vernacular" was originally applied to the local dialect of a native language, but is also applied to landscapes and buildings. In architecture, it refers to a building practice that reflects local traditions and materials. A vernacular type, therefore, usually describes buildings that do not adhere to a formal or academic architectural style, but are products of the materials and skills that were available and could be applied to fit the building's needs. Generally, these buildings were not designed by a trained architect, but built by community members or local builders with necessity and economy in mind. There are not many extant examples remaining in the city.

Although Vernacular resources might seem simple or even utilitarian to modern eyes, they are representative of the individuals and communities that produced them and their limitations and aspirations for St. Petersburg. Since St. Petersburg was developed by transplants from across the United States, some of the oldest buildings are representative of the traditions of their owners' hometowns or regions. This diffusion of influences resulted in what can also be referred to as a "National" Vernacular folk type.

The early Vernacular buildings are often classified as being Frame Vernacular, meaning that their structure is supported by wooden frames. Masonry Vernacular, meaning that their structure is supported by brick, concrete, clay tile, or stone developed as a later tradition mostly to non-residential buildings. These classifications can be deceptive, as wooden frames were sometimes clad in masonry veneers, and exterior wood siding has been applied to masonry structures.

Most of the earliest buildings in St. Petersburg, especially houses, were Frame Vernacular. Many vernacular buildings that remain in use today feature a combination of the two, with masonry ground floors and wood frame second stories. This construction method is especially common in garage apartments. Most extant Masonry Vernacular buildings in St.

concrete block.

# GALLERY OF EXAMPLES



Roser Park



Old Southeast



Historic Uptown



Historic Uptown



Historic Uptown

## STYLISTIC FEATURES

## Frame Vernacular

- Rectangular or L-shape
- Roof pitch 6: 12 or steeper
- = Gable
- Bevel or Novelty wood siding
- Exposed rafter ends
- Wood double- hung windows
- Pier foundations
- = Little ornamentation
- Simple porch



Old Northeast



Historic Uptown



Old Northeast

# 3

# GALLERY OF EXAMPLES







Crescent Lake



Downtown





Downtown

## STYLISTIC FEATURES

# Masonry Vernacular

- Simple rectangular or L-shape most common
- · Flat or shallow pitch roof
- · Masonry/ Stucco walls
- Pressed concrete block in many residential examples
- · Wood double- hung windows
- Commercial examples have parapet walls at roof



Wildwood Heights



Roser Park

# WALLS, EAVES & ROOFS

#### WALLS

- Typical floor-to-ceiling heights are
   9 feet for the first floor and 8 feet
   for the second floor.
- Cladding materials: Smooth-finish wood lap siding with 4- to 6- inch exposure, random width cut wood shingles, light sand-finish stucco.
- Siding and shingle cladding is mitered at corners or has 4- to 6inch corner board trim.
- Typical base detail has 8- to 10inch-wide skirting board with drip edge detail.
- Foundation walls and piers are typically brick, rusticated concrete block, stucco, or stone veneer; foundation wall vents are typically centered under windows.

#### EAVES

- Exposed 2 x 8- inch rafter tails cut plumb, 16 to 24 inches on center is by far the most common eave type.
- Hipped roofs may feature a cornice or a boxed eave with continuous fascia and outriggers 24 to 48 inches on center.

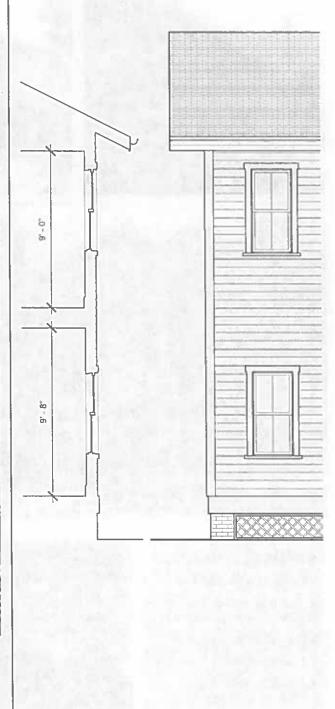
#### ROOFS

- Front-facing gable or hipped.
- Originally wood shingles, asphalt roll-roofing, galvanized metal shingles, or galvanized 5-V crimp metal panels.
- Replacement materials are often laminated asphalt or composition shingle: or standing seam metal panel roofing.





Corner Vignette





# WINDOWS & DOORS

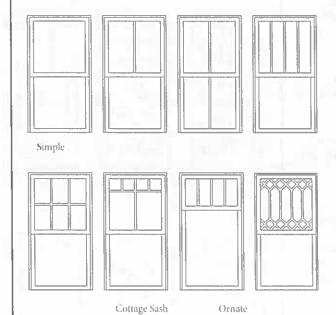
#### STANDARD WINDOWS

- Standard windows are typically double hung or casement and vertical in proportion.
- Common muntin patterns are 2 over 2, 4 over 4, or 6 over 6.
- Range of sizes:
   Width: 2'-8" to 3'-8"
   Height: 4'-4" to 6'-0"
- Materials: Painted wood, solid cellular PVC or clad wood; true divided light or simulated divided light (SDL) sash windows with traditional exterior muntin profile (7/8 inch wide)

# WINDOW ASSEMBLIES & ACCENT WINDOWS

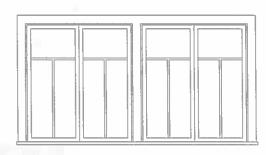
- Dormer windows are multi-paned in the 6 over 6 pattern.
- Special windows are typically small accent windows with 6 panes or in a 4 over 4 muntin pattern. A single or double leaf shutter is often used.

#### STANDARD WINDOWS

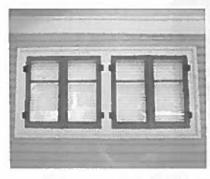








Double Pair - Casements









#### DOORS

- Entry doors are typically 4 or 6-paneled, with traditional stileand-rail proportions and raised panel profiles.
- Materials: Wood originally.
   Replacement Materials: Steel, aluminum, fiberglass, or composite.

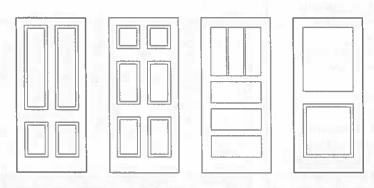
#### TRIM

 Typically, a simple 4-inch-wide trim. Sometimes includes drip edge trim above header trim.

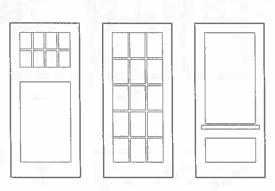
#### SHUTTERS

- Shutters can be louvered, raised panel or batten.
- Wood historically, sized to match window sash or door frame and mounted with hardware so that they are operable

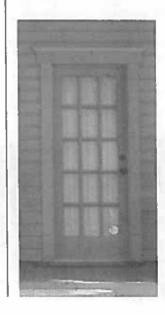
#### **DOOR TYPES**



Simple



Ornate





# Appendix B:

Folk Vernacular Excerpt from St. Petersburg's *Design Guidelines*for Historic Properties

# FOLK VERNACULAR

1800-1930

Many of the homes and businesses built during St. Petersburg's earliest period of construction are referred to as having a [Folk] Vernacular style. The term "vernacular" was originally applied to the local dialect of a native language, but is also applied to landscapes and buildings. In architecture, it refers to a building practice that reflects local traditions and materials. A vernacular type, therefore, usually describes buildings that do not adhere to a formal or academic architectural style, but are products of the materials and skills that were available and could be applied to fit the building's needs. Generally, these buildings were not designed by a trained architect, but built by community members or local builders with necessity and economy in mind. There are not many extant examples remaining in the city.

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Most of the earliest buildings in St. Petersburg, especially houses, were Frame Vernacular. Many vernacular buildings that remain in use today feature a combination of the two, with masonry ground floors and wood frame second stories. This construction method is especially common in garage apartments. Most extant Masonry Vernacular buildings in St. Petersburg were built for commercial use out of hollow clay tiles or

concrete block.

# GALLERY OF EXAMPLES



Roser Park



Old Southeast





Historic Uptown



Historic Uptown

## STYLISTIC FEATURES

#### Frame Vernacular

- Rectangular or L-shape
- Roof pitch 6: 12 or steeper
- Gable
- Bevel or Novelty wood siding
- Exposed rafter ends
- Wood double- hung windows
- Pier foundations
- Little ornamentation
- Simple porch



Old Northeast





Old Northeast

# GALLERY OF EXAMPLES







Crescent Lake



Downtown



Warehouse Arts District



Downtown

## STYLISTIC FEATURES

## Masonry Vernacular

- Simple rectangular or L-shape most common
- Flat or shallow pitch roof
- Masonry/ Stucco walls
- Pressed concrete block in many residential examples
- Wood double- hung windows
- Commercial examples have parapet walls at roof



Wildwood Heights



Roser Park

# WALLS, EAVES & ROOFS

#### WALLS

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#### **EAVES**

- Exposed 2 x 8- inch rafter tails cut plumb, 16 to 24 inches on center is by far the most common eave type.
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#### ROOFS

- Front-facing gable or hipped.
- Originally wood shingles, asphalt roll-roofing, galvanized metal shingles, or galvanized 5-V crimp metal panels.
- Replacement materials are often laminated asphalt or composition shingle; or standing seam metal panel roofing.

# TYPICAL EAVE DETAILS



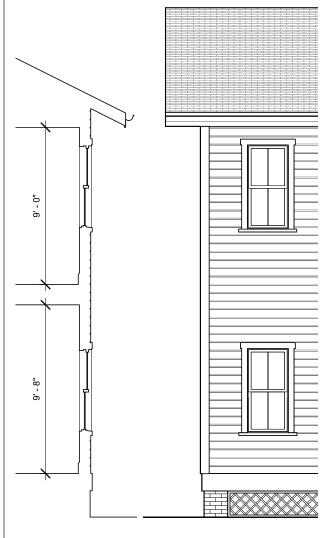
Exposed Rafter Tail



Boxed Eave



Corner Vignette



# 3

# WINDOWS & DOORS

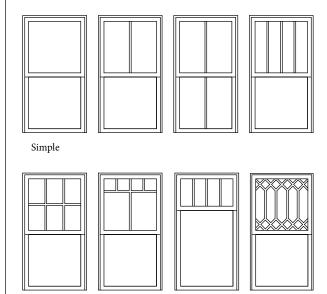
#### STANDARD WINDOWS

- Standard windows are typically double hung or casement and vertical in proportion.
- Common muntin patterns are 2 over 2, 4 over 4, or 6 over 6.
- Range of sizes: Width: 2'-8" to 3'-8" Height: 4'-4" to 6'-0"
- Materials: Painted wood, solid cellular PVC or clad wood; true divided light or simulated divided light (SDL) sash windows with traditional exterior muntin profile (7/8 inch wide)

# WINDOW ASSEMBLIES & ACCENT WINDOWS

- Dormer windows are multi-paned in the 6 over 6 pattern.
- Special windows are typically small accent windows with 6 panes or in a 4 over 4 muntin pattern. A single or double leaf shutter is often used.

#### STANDARD WINDOWS

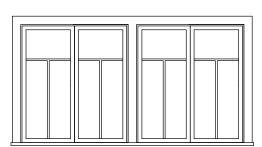




Cottage Sash



Ornate



Pair

Double Pair - Casements









# VERNACULAR

#### **DOORS**

- Entry doors are typically 4 or 6-paneled, with traditional stileand-rail proportions and raised panel profiles.
- Materials: Wood originally.
   Replacement Materials: Steel, aluminum, fiberglass, or composite.

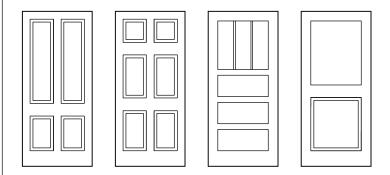
#### TRIM

• Typically, a simple 4-inch-wide trim. Sometimes includes drip edge trim above header trim.

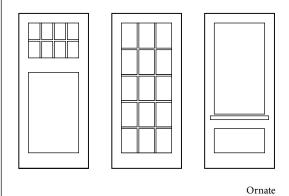
## SHUTTERS

- Shutters can be louvered, raised panel or batten.
- Wood historically, sized to match window sash or door frame and mounted with hardware so that they are operable

#### **DOOR TYPES**



Simple







# Appendix C:

**Public Comments** 

From: Alexander Smith <boonearch@gmail.com>

**Sent:** Sunday, July 31, 2022 12:06 PM

To: Kelly K. Perkins

**Subject:** Oppose COA - 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Kelly,

Please include the message below in your staff report to the commissioners regarding the COA application for 2101 3rd Ave N in the SE Kenwood LHD.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a longtime resident of Historic Kenwood, a local Architect and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Alexander Smith, Architect

2624 Burlington Ave N

St. Petersburg, FL 33713

**From:** Michelle Ribner < michelle.ribner@gmail.com>

**Sent:** Sunday, July 31, 2022 12:23 PM

To: Kelly K. Perkins

**Subject:** Public hearing re: proposal of new home on 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

We are writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. We are residents of Historic Kenwood and we oppose the plan to construct a 3800sf home. The design is not appropriate for the historic nature of our neighborhood.

The home is out of scale and context for our area known as St. Petersburg's original working-class neighborhood. We want to preserve the character of our neighborhood. We request that you DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Michelle & Lewis Ribner

2662 4th Ave N., St Petersburg FL 33713

From: Jennifer Vessels Smith <jennifer.vessels@gmail.com>

**Sent:** Sunday, July 31, 2022 1:07 PM

To: Kelly K. Perkins

**Subject:** Out of Scale Construction in Kenwood LHD - 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Jennifer Smith

2624 Burlington Ave N, St Petersburg, FL 33713

From: Catherine Vogel <cfv12554@aol.com>

**Sent:** Sunday, July 31, 2022 1:57 PM

To: Kelly K. Perkins

**Subject:** Proposed home to be built at 2102 3rd Ave. N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I am the owner of the home at 2127 3rd Ave. N. I support the building of a home at 2102 3rd Ave. N. however the proposed home is too large for the neighborhood and/or that lot. Please do not approve of the home as it is proposed. This is exactly the reason this section of Historic Kenwood organized and adopted an historic designation to preserve the character of this neighborhood. Unfortunately I cannot attend the zoning meeting on the 9th.

Catherine Vogel cfv12554@aol.com

From: Thomas Turner < turnerthomas 35@yahoo.com>

**Sent:** Sunday, July 31, 2022 2:06 PM

To: Kelly K. Perkins

**Subject:** Home proposal- 2101 3rd Ave. N.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3rd Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

**Thomas Turner** 

2135 2nd Ave. N, Saint Petersburg, Fl. 33713

Show original message

From: Maria Herrera <turner2058@gmail.com>

**Sent:** Sunday, July 31, 2022 2:11 PM

**To:** Kelly K. Perkins

**Subject:** Application: 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3rd Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Maria Herrera Turner 2058 3rd Ave N Saint Petersburg Fl. 33713

# Maria Herrera

Realtor *MC Homes Realty* M. (727)623-5312

mariarealtyfl@gmail.com
http://maria.mchomesrealty.com

From: Brenda Gordon <br/> brendargen@gmail.com>

**Sent:** Sunday, July 31, 2022 2:37 PM

To: Kelly K. Perkins

**Subject:** 2101 3rd Ave N Proposed Construction

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear Commissioners,

I am writing to express my strong objection to the proposed new construction home to be located at 2101 3rd Avenue N.

The reason neighbors worked to hard to achieve local historic designation in many sections of Historic Kenwood was to assure new construction design would complement the character of the neighborhood, particularly in terms of size and scale. The proposed design for this property demonstrates precisely our concerns.

This home would be gargantuan in comparison to homes within the District. It would be significantly taller, longer and wider than the rest. It is out completely out of scale with the neighborhood.

Specific design elements are also of concern. Very few historic homes in Historic Kenwood have a smooth stucco finish as is proposed with this new build. The only two I can think of are the two tiny Cade Allen mission style cottages on 30th Street N. Old vernacular homes in the neighborhood for the most part have wooden, horizontal siding. The window placement is not consistent, and the only concrete stucco walls in place around backyards in the neighborhood are on a few other newly constructed large homes which are not within local historic districts.

While I'm fully supportive of new construction, it must be of the appropriate size and scale and with design elements that are congruent with the character of the neighborhood.

Please deny the application as proposed.

With regards,

Brenda Gordon

2934 Burlington Ave N St. Petersburg, FL 33713 <u>Brendargen@gmail.com</u> 813-712-0796

From: Janna Kennedy <janna.m.kennedy@gmail.com>

**Sent:** Sunday, July 31, 2022 3:22 PM

To: Kelly K. Perkins

**Subject:** RE: Historic Kenwood new building project

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am **strongly opposed** to the plan to construct a 3800sf home. The design is **not appropriate** for the neighborhood, and I request that you **deny** the application.

The home is **out of scale** and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please **DENY** their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support.

Thank you for your time.

Sincerely,

Janna K Hyten

2251 8th Avenue N.

St Pete, FL 33713

**From:** colin jenkins <colincjenkins@me.com>

**Sent:** Sunday, July 31, 2022 4:55 PM

To: Kelly K. Perkins

**Subject:** 2101 3rd Ave N in the SE Kenwood Local Historic District.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support.

Thank you for your time.

Colin Jenkins 2950 Burlington Ave N 33713

**From:** jasrbrd@aol.com

**Sent:** Sunday, July 31, 2022 5:05 PM

**To:** Kelly K. Perkins

**Subject:** Propoesd home at 2101 srd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Perkins and the CPPC Commissioners,

In regards to the newly proposed home at 2101 3<sup>rd</sup> Ave N in the Kenwood Community located in the Historic District, I am opposed to the plan to build this house mainly because it is completely out of scale for a home in this historic community. I work in the building materials construction industry and although the design is actually nice, it is way too large for a home in this community. I ask that the proposal to build this home be denied.

Thank you for listening

Jim Burdewick

2663 Burlington Ave N

St Petersburg, FL 33713

From: Karen Burdewick <karenah1217@aol.com>

**Sent:** Sunday, July 31, 2022 5:08 PM

To: Kelly K. Perkins

**Subject:** Proposed Home 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 21013<sup>rd</sup> Ave N in the SE Kenwood Local Historic District.

I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home.

Although the plan includes many design features that are compatible with historic homes in the neighborhood, it is greatly out of scale and context to surrounding homes.

The neighborhood supports Local Historic District designation and I support the preservation of the character of our neighborhood. I urge you to please DENY the application for their request.

Please encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support.

Thank you for your time.

Sincerely,

Karen Holl Burdewick

2663 Burlington Ave N.

St. Petersburg, Fl 33713

From: Georgia Earp <gmearp@yahoo.com>

**Sent:** Sunday, July 31, 2022 5:32 PM

**To:** Kelly K. Perkins **Subject:** 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3rd Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Georgia Earp 3140 7th Ave N

**Sent:** Sunday, July 31, 2022 5:40 PM

**To:** Kelly K. Perkins

**Cc:** Alexis Baum; Alexander Smith

**Subject:** Opposed to the Indecent Proposal- 2101 3rd ave N.- Historic Kenwood

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### **Dear Commissioners:**

I bought my home 20 years ago in Historic Kenwood. It was a little rough around here, but I saw a diamond...the neighborhood with the quaint homes sporting big, sometimes shy smiles winking on gorgeous brick streets, lined with mature oaks, the place charmed me and it begged for people to love it again. And we did. We came and we loved what was already here...we brought it back to life, and we are here thriving in tiny, 100 year old homes; we have gardens and green spaces, open front porches, walkable and enjoyable streets lined with like minded folks who value their neighbors, value history, and respect each others right to privacy, space, and whom share a sensibility for time and history.

The proposed 3800 sq feet structure shaped like a fort avails no regard for neighbors or community, it only diminishes and dilutes the entire experience upon which the Historic in Historic Kenwood depends. To those of us who actually care about history, community, and neighborhoods, it is akin to a takeover, a deliberate move to extract maximum value by one individual, at the cost of the many many individuals who live here. The proposal is indecent. What we have worked hard to revitalize and protect has grown into a gem, winning 2020 *National Neighborhood of the Year;* being featured in national magazine 'American Bungalow' developing and fostering many award winning neighborhood programs including *The Artist Enclave*. Arts are important to us, as well as to the city. Box structures may tower over us, but are beneath us, all of us! "St Petersburg- The City of Arts" and Historic Kenwood- "Where Art Lives" these become meaningless jargon if we do not fight for those who place more value on beauty and history than on profit.

To conclude...we in Historic Kenwood have already established it is our common goal and desire to have a Local Historic Designation, (SE and SW quadrants, 4 quadrants within Historic Kenwood) earned and awarded, meant to protect what we have, and guard against such takeovers. It is not just for our own individual gain, but for the whole city, and those to come after us.

In other words, I object wholeheartedly, and on the basis of inappropriateness, starting with the proposed height and scale. It is not compatible with surrounding and existing homes, not even close. It will forever change the look, feel and rhythm of our streets. Visual compatibility is not possible with the proposed plan. It needs to be completely downsized, rethought and hopefully someone will take into consideration the bigger picture and not just think of themselves. I believe there are many design flaws and other issues to be ironed out, but not before the size and scale is addressed by way of denial.

Please do not allow this plan to happen, not as is, and not as anything even close to this.

Thank you in advance and for your time,

Cordially,

Lisa Presnail 2042 3rd Ave. N.

## St. Petersburg, Fl 33713

Member Artist Enclave of Historic Kenwood.

Member Historic Kenwood Neighborhood Association.

Former Liaison Artist Enclave.

Member St. Pete Arts Alliance

Contributing photographer to American Bungalow Magazine; and HKNA application and award for LDR SE quadrant

Lisa Presnail
<a href="www.presnail.com">www.presnail.com</a>
<a href="presnailphoto@gmail.com">presnailphoto@gmail.com</a>
727 871 2444

From: Audrey Wood <audreycwood@gmail.com>

**Sent:** Sunday, July 31, 2022 6:32 PM **To:** Kelly K. Perkins; Laura Duvekot

Cc: Audrey Wood

**Subject:** Proposed structure for 2101 3rd Ave North

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Greetings,

I am a 17 year resident of Historic Kenwood, two doors down from this lot (2045 3rd Ave. North) and am wholeheartedly opposed to the plan to construct a 3800sf home- this is 4, yes, 4 times the size of my 1938 bungalow. The design is not appropriate for the neighborhood, and I strongly request that you deny the application.

The home is entirely out of scale and context in an area known as St. Petersburg's original working-class neighborhood. We obtained our Local Historic District designation through grassroots support because we love our neighborhood and its character.

HK is a welcoming community and I urge the builder to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support.

Best,

Audrey C. Wood, MBA

727.385.2051 audreycwood@gmail.com 2045 3rd Avenue North

From: Mark Gibson <markagib@me.com>
Sent: Sunday, July 31, 2022 7:36 PM

To: Kelly K. Perkins

**Subject:** Opposition to plan for home at 2101 3rd Ave. N.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Perkins,

I am wriiting regarding the proposed new single-family home at 2101 3rd Ave. N in the SE Kenwood Local Historic District. I am a resident and owner of a home just a half of block down the avenue at 2019 3rd Ave. N. I am strongly opposed to the plan to construct a 3800 sf home. The design is completely out of character for our neighborhood where most home are not even half that size.

Historic Kenwood is a unique, special area of our city. Our neighborhood went to great lengths to obtain the Historic Designation and the proposed plan is out of character with that designation. I urge you to please deny the request and encourage the developer to meet with City Preservation Staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support.

Thank you for your work on behalf of maintaining the historic areas of our city.

Mark Gibson 2019 3rd Avenue North.

From: Roger Heller <roger-heller@comcast.net>

**Sent:** Sunday, July 31, 2022 7:53 PM

To: Kelly K. Perkins

**Subject:** Inappropriate house for our historic neighborhood

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. When voting for this district, only 2% of parcels actively voted NO for the designation. We believe in preserving the character of our neighborhood.

I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Roger & Marci Heller

2935 6th Ave N

Saint Petersburg, FL

From: Cullen \* <wkout2@hotmail.com>
Sent: Sunday, July 31, 2022 8:34 PM

To: Kelly K. Perkins

**Subject:** Development proposal for 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioner,

I am writing in regards to the 3800 SF single-family house proposal for 2101 3rd Ave N, in Historic Kenwood. I am a homeowner on 3rd Ave N and feel this proposal is not appropriate as submitted, because it does not preserve the character of our neighborhood.

This proposal in its current form is out of scale and context for our neighborhood. Therefore, I am strongly opposed to this plan in its current form and I request that this application be denied.

Sincerely,

Donald C McNee 2025 3rd Ave N St Petersburg, FL 33713

From: Robert <ringham@tampabay.rr.com>
Sent: Monday, August 1, 2022 7:43 AM

To: Kelly K. Perkins

**Subject:** 2101 3rd Ave N SE Kenwood

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your consideration.

Bob Ingham 2551 Dartmouth Ave St. Petersburg

From: Ken Rikard <krrikardii@hotmail.com>
Sent: Monday, August 1, 2022 8:05 AM

**To:** Kelly K. Perkins **Subject:** 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The neighborhood supports Local Historic Designation. When voting for this district, only 2% of owners within the historical district actively voted NO for the designation. The homeowners in the SE Local Historic District worked tirelessly to obtain the designation in order to preserve the scale and characteristics of their district and to keep these types of non-compliant structures from being built. The residents of the historical district and of Kenwood strongly support maintaining the historical scale and characteristics of our neighborhood.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Kenneth R Rikard, II and Bryan Young

2728 3rd Ave N

Sent from Mail for Windows

From: Tom Bogan <tombogan@gmail.com>
Sent: Monday, August 1, 2022 8:40 AM

**To:** Kelly K. Perkins **Subject:** 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. It will dwarf other structures. I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Tom Bogan

2761 2nd Ave N

Sent from my iPhone

From: wydel simmons <whydel@hotmail.com>
Sent: Monday, August 1, 2022 8:50 AM

To: Kelly K. Perkins

Subject: COA

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

# Kelly,

Have you seen the new single-family home proposed at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. The design is not appropriate for the neighborhood, and I think the committee would agree.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. They should be encouraged to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support.

Go elsewhere and build this type of property.

Thank you for your time.

Call anytime,

Wydel - 727-300-9044

From: Darrel <darbreg@aol.com>

Sent: Monday, August 1, 2022 9:45 AM

To: Kelly K. Perkins

**Subject:** 2101 3rd Ave N. Proposed Constuction

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Commissioners,

I am writing in strong opposition to the proposed construction of a new 3800 square foot, single family home located at 2101 3rd Ave N. in the SE Kenwood Local Historic District. After reviewing the plans, in my opinion, the proposed home does not fit in with the scope and character of the local historic designated area of Kenwood. Therefore, I am requesting the Commission deny the application. My wife, Brenda and I have been involved with advocating for local historic designated areas throughout Historic Kenwood, starting with the first LHD around Seminole Park. Three other Districts have since been designated. Local Historic Designation is important because it requires new construction to fit in with the character and scale of the neighborhood. The proposed plan clearly does not. I am not opposed to new construction or larger homes as long as it meets the size and scale requirements for Local Historic Districts. I hope the applicant will work with the Preservation Staff to develop a plan that everyone can support.

Sincerely,
Darrel Gordon
Immediate Past President, HKNA
2934 Burlington Ave N,
St Petersburg, Fl. 33713
772-485-6712

From: Damien Palladino <damien@historickenwood.org>

Sent: Monday, August 1, 2022 9:53 AM

**To:** Kelly K. Perkins **Subject:** 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Kelly,

I am a resident of Historic Kenwood at 619 22nd St. N.

I am writing to you today in opposition to the proposed building at 2101 3rd Ave N.

The size of the structure is far too large and not in keeping with the historically designated neighborhood.

Thank you and have a great day

-----

Damien Palladino
Treasurer/Vice President
HKNA 2022

www.historickenwood.org

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<u>Click this link to join</u> the next Neighborhood Gathering held virtually and in person at Metro Inclusive Health on the first Wednesday of each month, 7-8pm. Everyone is welcome to join in person or remotely!

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Sign-up here to receive HK Connections, our email notices of neighborhood happenings.

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From: DJ Soucy <dj@djsoucygroup.com>
Sent: Monday, August 1, 2022 10:01 AM
To: Kelly K. Perkins

**Subject:** 2101 3rd Ave N - please deny request

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation, and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

DJ Soucy 619 22nd St N St Petersburg Fl 33713

No interpretation from the state of the stat

**From:** Jeffrey Herman <jeff@creativegrape.com>

**Sent:** Monday, August 1, 2022 10:24 AM

To: Kelly K. Perkins

**Subject:** 2101 3rd Avenue North

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed construction at the referenced address, which is located in the SE Kenwood Local Historic District. I own a business in this beautiful neighborhood and am opposed to the construction as it is obvious from architectural renderings that the proposed residence is out-of-scale and not consistent with the character of Historic Kenwood. I request that you deny the application.

The Historic Kenwood neighborhood supports local Historic District designation and I stand with them. As a small family business owner, I happily adapt to the neighborhood's standards and expect this behavior from a much larger business such as TRB Development. I urge you to deny the developer's request and encourage the applicant to meet with City Preservation staff and the Historic Kenwood Neighborhood Association to develop a more appropriate plan that will garner much broader support.

Thank you for your kind consideration.

All the best

Jeff Herman Creative Grape LLC (646) 512-2988 creativegrape.com





August 1, 2022

Dear CPPC Commissioners,

On behalf of the Historic Kenwood Neighborhood Association Board of Directors, I am writing to express our strong opposition to the proposed new single-family home at 2101 3<sup>rd</sup> Avenue N in the SE Kenwood Local Historic District. A 3800sf home is not appropriate for the neighborhood, and we request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood.

- Of the 81 contributing single-family residences within the proposed district (73), or about 90% are one 1 or 1.5 stories; the remaining eight (8) houses are two stories.
- The average SF of homes on this block are 1,333sf. This home is more than double that SF at 3,268 of interior SF.
- When compared to other existing 2-story homes in this district, the home is 64% larger than all of them. Average length of 2-stories in the district is 29FT long. This home is almost double at 56FT.
- The neighborhood supports Local Historic Designation. When voting for this district, only 2% of parcels actively voted NO for the designation. We believe in preserving the character of our neighborhood.

We urge you to please deny their request, and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

With regards,

Alexis Baum

Historic Kenwood Neighborhood Association President



August 1, 2022

Re: 2101 3<sup>rd</sup> Ave N.

Dear Members of the CPPC:

The purpose of this letter is to place Preserve the 'Burg's objection to the proposed single-family home at 2101 3<sup>rd</sup> Ave N. in the SE Kenwood Local Historic District into the public record.

Based on our review of plans submitted to the City, it appears the proposed structure would be three to five times the average square footage and significantly taller than other homes located in the District.

Preserve the 'Burg is dedicated to preserving noteworthy examples of St. Petersburg's rich architectural history. We were delighted when the citizens of the Kenwood neighborhood formed a Local Historic District to protect "one of the largest concentrations of Craftsman bungalows in Florida."

The Southeast Kenwood LHD recognizes a rich architectural history that dates back more than a century. In 1912, Mr. Charles Hall subdivided the area, building and selling the newly emerging Florida bungalow lifestyle. Another 170 bungalows were moved to this subdivision in the 1930s.

Historic Kenwood's bungalows range from 700 to 1,000 square feet. As noted above, a 3,800 square foot home is wholly out of scale with the surrounding structures. Indeed, at 3,268 of interior square feet, the proposed structure is nearly three times larger than the homes on the 2100 block of 3<sup>rd</sup> Avenue and roughly 60% larger than other two-story homes in the Historic District. Further, according to a staff report, this project is out of compliance with at least 9 provisions in City Code Section 16.30.070.2.6.

We are concerned with the precedent that approval of this project may set. If approved, this project could render the protections afforded by local designation irrelevant. Local Historic Districts are intended to preserve the architectural style of an area <u>as defined by the local citizens.</u> While Land Development Regulations apply city-wide, the standards of compatibility, mass and scale are local, and the establishment of a LHD formalizes the design concepts sought by the neighboring property owners.

Based on the above, Preserve the 'Burg respectfully requests that the CPPC deny this application.

Sincerely

**/**S/

Bill Herrmann,
Preserve the 'Burg
Advocacy Committee Co-Chair

<sup>&</sup>lt;sup>1</sup> See <a href="https://www.americanbungalow.com/st-petersburgs-eclectic-bungalow-revival/">https://www.americanbungalow.com/st-petersburgs-eclectic-bungalow-revival/</a>

From: Imormino@tampabay.rr.com

Sent: Monday, August 1, 2022 11:05 AM

To: Kelly K. Perkins

**Subject:** Message to CPPC Commissioners:Opposition to proposed new home Kenwood

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3rd Ave N in the SE Kenwood Local Historic District. I am a Board Member of Preserve the Burg and strongly oppose to the plan to construct a 3800 sf home as the design is totally inappropriate for this neighborhood. Please deny the application .

This home is out of scale and context in an area known as St. Petersburg's original working class neighborhood. This neighborhood supports Local Historic District designation and believes in preserving the neighborhood's character. I stand with them.and urge you to DENY this plan and instead encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time .

Sincerely, Lynne Mormino 235 10 Avenue N Saint Petersburg, Florida

**From:** Geraldine DelGrande <geraldinedelgrande@yahoo.com>

**Sent:** Monday, August 1, 2022 11:37 AM

To: Kelly K. Perkins
Cc: Geraldine DelGrande

**Subject:** 2101 3rd Avenue N, St Petersburg

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear CPPC Commissioners.

I am a resident of historic Kenwood and live around the corner from the property 2101 3rd Avenue N. I am opposed to the plan to build a 3800 sq ft home on that lot. The design as shown in the application, in addition to being much larger than any of the surrounding homes, does not appear to be consistent with their architectural variety, the Craftsman Bungalow, Tudor, Frame Vernacular, etc. A few years ago, as a community, we worked to get our neighborhood the protections of historic designation and I hope that was not in vain. Please deny the application as it was submitted.

Sincerely, Geraldine DelGrande 2045 4th Avenue N

From: Katie Klopfenstein <kklopfen@gmail.com>

Sent: Monday, August 1, 2022 11:44 AM

**To:** Kelly K. Perkins

**Subject:** Application 22-90200051

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800 square foot home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation, and I stand with them. I believe in preserving the character of our neighborhood. I live in a Local Historic District designated block - one of the reasons I voted yes on local historic designation for my block was to prevent homes like this from being built in our neighborhood of modest-sized homes. I am not opposed to all new construction, but a home of that size and scale is not in keeping with the character of the neighborhood.

I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Katie Klopfenstein

330 26th Street North

From: Tom and Laura McGrath <mcgrath.tandl@gmail.com>

**Sent:** Monday, August 1, 2022 11:58 AM

To: Kelly K. Perkins
Cc: Lisa Presnail

**Subject:** Comment on Construction Proposal

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To: The City of St. Petersburg

From: Thomas A. McGrath, resident

Re: Proposed Construction at 2101 3<sup>rd</sup> Ave. N in Historic Kenwood

I have been a resident of St. Petersburg for twelve years. Eleven of those years were spent in a 1927 bungalo the Historic Kenwood neighborhood. That neighborhood and the commitment of the city and area residents to historic preservation of Kenwood and similar neighborhoods is what drew my wife Laura and me to the city. We became active in the neighborhood association and Laura became a force in developing Kenwood Historic Districts, the Kenwood Artist Enclave, and the Public Art Initiative. She led tours of this Historic District every year, introducing numerous visitors, both local and from all across the country to the pleasures of having and preserving historic neighborhoods such as Kenwood.

Learning that the city may possibly grant a proposal for the building of a new structure totally out of keeping with historic nature of the neighborhood is seriously disconcerting. The desire by the city to recognize and support historic districts and to keep development in line with their character was a major factor in our decision to move here. I am certain it remains a major factor in many people's minds when they consider St. Petersburg as a possible home.

Long-term residents have worked hard to maintain and improve on the historic nature of the neighborhood. While the developer of the proposed construction at 2101 3<sup>rd</sup> Ave. N is arguing that his plans are in keeping with the rules of law, it is clear from the size and construction materials described for this project that the building in no way meets the vision of one that belongs in a bungalow neighborhood such as Kenwood. Therefore I urge you to reject this proposal. Further, I hope you will do all in you power to keep the character of the city's historic neighborhoods intact when similar proposals are presented in the future.

--

Tom McGrath 1095 Pinellas Point Drive S, # 336 St. Petersburg, FL 33705 LANDLINE: 727-864-7336

CELL: 727-804-0701

From: Sherry Stepleton <sstepleton@tampabay.rr.com>

**Sent:** Monday, August 1, 2022 12:03 PM **To:** CCPC@stpete.org; Kelly K. Perkins

**Subject:** Application 22-90200051 - TRB Development Englewood LLC Kenwood Project

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

We are writing in regards to CPPC's Application 22-90200051 - TRB Development Englewood LLC Kenwood Project. After reviewing the elevations and written descriptions of this project, we have grave concerns about the proposal maintaining the integrity of our historic neighborhood and our community as a whole.

They need to go back to drawing board and consider the uniqueness of our neighborhood and the value that areas like ours contribute to the city as a whole.

We will be there on the 9th.

Ben and Sherry Stepleton 2051 4th Avenue N

Sent from my iPad

From: John Seibert <rjs2926@gmail.com>
Sent: Monday, August 1, 2022 12:18 PM

To: Kelly K. Perkins

Cc: Alexis Baum; Jeff Danner; Robert jeffrey; Lisa Presnail; Alexander (Alec) Smith

**Subject:** Opposition to Proposed New Single-Family Home at 2101 3rd Ave. N.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

## Dear CPPC Commissioners,

I am John Seibert and reside in Historic Kenwood at 2926 7<sup>th</sup> Ave. N. I am a former President of the Historic Kenwood Neighborhood Association. I write regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am strongly opposed to the proposal. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation which I too support. I believe in preserving the rich historical character of our neighborhood.

Historic Kenwood has garnered numerous instances of national recognition due in notable part to its period architecture including listing in the National Register of Historic Places in 2003, the subject of national magazine articles on Craftsman style homes, and being judged Best Neighborhood in the United States by Neighborhood USA in 2020. Historic Kenwood is truly one of the City's gems on a variety of levels not the least of which is its significant collection of American Craftsman style homes.

The proposed 3800sf structure would seriously erode this emblematic aspect of a treasured City neighborhood both as an individual structure and the message it would send developers looking to build similar sized structures in Historic Kenwood.

I urge you to please DENY the request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time and attention.

Sincerely,

R. John Seibert

2926 7th Ave. N.

From: Camilla Shireman <camillashireman@yahoo.com>

**Sent:** Monday, August 1, 2022 12:53 PM

**To:** Kelly K. Perkins

**Subject:** Single Family Home to be Built in SE Kenwood Local Historic District

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

## Dear CPPC Commissioners,

I am writing in regards to the proposed new single-family home at 2101 3rd Ave N in the SE Kenwood Local Historic District. I am a Board Member of Preserve the Burg and am strongly opposed to the plan to construct a 3800 square foot home in a historic neighborhood that has no other properties with such size and design. The proposed design of this home is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of all historic neighborhoods in St. Petersburg. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Camilla Shireman Secretary Board of Directors Preserve the Burg

**From:** MrMr JosephandMark <mrmrjandm@gmail.com>

Sent: Monday, August 1, 2022 1:54 PM

To: Kelly K. Perkins

**Subject:** Re; Variance request for proposed new construction

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Mark McDaniels

Joseph Shatner

3011 Burlington Ave N

St Petersburg, FL 33713

From: Ty Derek <tyderek.art@gmail.com>
Sent: Monday, August 1, 2022 2:23 PM

To: Kelly K. Perkins

**Subject:** Opposition to construction

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Jeffrey Stradone

2125 4th Ave N

St. Petersburg 33713

Sent from my iPhone

From: Jeremy Shavie <jjshavie@yahoo.com>
Sent: Monday, August 1, 2022 2:34 PM

To: Kelly K. Perkins

**Subject:** Opposition to Certificate of Appropriateness for 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

## Dear CPPC Commissioners,

We are writing to you regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. My family and I are homeowner/residents within this specific section of Historic Kenwood and we are strongly opposed to the plan to construct a 3800sf home at the aforementioned site. The design plan of the proposed residence is not at all appropriate for the neighborhood; it is wholly out of scale and context in the area known & recognized as St. Petersburg's original working-class neighborhood. As such, we respectfully request that you deny the application.

Decades ago, the entire Kenwood neighborhood was designated a National Historic district in recognition of its unique nature within the St Pete community. And more recently, the SE Kenwood section was granted the additional honor of being a Local Historic district. Therefore, we again submit that the home being proposed for construction is in complete contravention to the fundamental purpose and true intent of these Historic District designations. We strongly believe in preserving the character of our neighborhood...in the reasons these historic designations were sought AND granted. We passionately stand with all of those that oppose this plan.

Again, we urge you to please deny their request, and instead, encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association in order to work together in developing a plan that everyone can support. Thank you for your time.

Sincerely,

Jeremy and Veronica Shavie

2011 3rd Ave N

St Petersburg, FL 33713

From: Arwen Saxon <arwenanang@me.com>
Sent: Monday, August 1, 2022 3:26 PM

**To:** Kelly K. Perkins **Subject:** 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### **Dear CPPC Commissioners,**

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is inappropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation, and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

### Sincerely,

Ms. Arwen C. Saxon

2143 Burlington Ave. N. St. Petersburg, FL 33713

From: Kristin Sakora <kristinsakora@gmail.com>

Sent: Monday, August 1, 2022 3:36 PM

**To:** Kelly K. Perkins **Subject:** 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3rd Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Kristin & Micky Sakora

2950 7th Ave N, St. Petersburg, FL 33713

From: Ross Mabery <maberyro@gmail.com>
Sent: Monday, August 1, 2022 4:09 PM

**To:** Kelly K. Perkins

**Subject:** Opposition to construction at 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood that lives in the Seminole Park Historic District and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

I have sought CPPC approval for limited items in order to preserve my 1935 home, like new windows, while keeping the historic character of the home in place. When a tropical storm took down the vinyl fence that was in place at the time I purchased the house, I could not even replace the fence with the same type of fence and was required to spend almost twice the amount to install a fence with wood texture and neutral colors to mimic the types of fence that would have been constructed at the time. I am happy to comply with the additional requirements and spend the additional money because I believe preservation of the historical character of the neighborhood serves an important public policy. Allowing this large construction will seriously undermine the policy and would be an insult to all the homeowners in historic districts that have spend extra money and time to make sure Historic Kenwood is properly preserved.

I echo the sentiment that others in Historic Kenwood have expressed. To wit, the home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Ross Mabery

2863 Burlington Ave N

St. Petersburg, FL 33713

248-563-0781

From: Toby Anders <toby\_a@yahoo.com>
Sent: Monday, August 1, 2022 4:10 PM

**To:** Kelly K. Perkins **Subject:** Opposed to design

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#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation, and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Toby Anderson HKNA resident 2455 6th Avenue North St. Petersburg, FL 33713

From: Craig Benson <craigyoyoma@yahoo.com>

Sent: Monday, August 1, 2022 3:22 PM

To: Kelly K. Perkins

**Subject:** 2101 3rd Ave N home proposal

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Kelly, thanks again for talking to me on the phone this morning and helping me to better understand this situation at 2101 3rd Ave N. I don't know much about building materials or design issues unless really obvious but I did want to reiterate my feeling that just the sheer size of this proposed home is completely out of character with the other homes in this historic area and thus very concerning. Thanks so much!

Craig Benson, 2126 4th Ave N

**From:** brandon Douglas <br/>brandonorb@gmail.com>

Sent: Monday, August 1, 2022 4:45 PM

**To:** Kelly K. Perkins **Subject:** Kenwood house

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation, and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

Brandon douglas

From: CntAssets <trevorsieders@gmail.com>
Sent: Monday, August 1, 2022 6:30 PM

To: Kelly K. Perkins

**Subject:** 2101 3rd Ave N, CPPC meeting

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

## Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

As a resident of a new building next door built by Canopy homes, even at 2400 sf we are facing issues. Such as diminished sunlight due to the height of the building. New street parking issues, not to mention the lot was cleared of trees. At more than double the size of homes in Kenwood , the proposed construction of this long 56 foot and tall home is out of scale and context in the neighborhood. The neighborhood supports Local Historic District designation, and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

**Trevor Sieders** 

2161 6th Ave N.

From: c c <cmariec2009@gmail.com>
Sent: Monday, August 1, 2022 6:31 PM

To: Kelly K. Perkins

**Subject:** Please do NOT approve builder's plan for 2101 3rd Ave. N.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Ms. Perkins,

I am a homeowner at 2019 3rd Ave. N. Our home is located in the adjacent block to the proposed home at 2101 3rd Ave. N. I urge the city to NOT approve the plan as submitted. We are a historic neighborhood of small homes and we worked together as neighbors to obtain our historic designation. The home that is being proposed for 2101 3rd Ave. N. is huge compared to the other homes in our neighborhood. It will stand out like a sore thumb and damage the historic character of our neighborhood. Of course, we would like a home to be built on the vacant lot, but I suggest the builder work with the city preservation team and the Historic Kenwood Neighborhood Association. I am confident that a home plan that enhances our neighborhood can be developed. The current plan actually detracts from our historic character of small bungalow homes.

Thank you for your service to our city.

Sincerely,

Colleen Coughenour 2019 3rd Avenue N. St. Petersburg, FL. 33713

**From:** sjstew@gte.net

**Sent:** Monday, August 1, 2022 11:10 PM

To: Kelly K. Perkins

**Subject:** Please oppose the home planned at 2101 3rd Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Perkins,

We are John and Sheila Stewart, and we have lived at 2130 Burlington Avenue N. since 1984. We are writing in opposition to the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District.

John retired after teaching humanities and AP Art History at Osceola High School. He included historic St. Petersburg architecture as part of his classes and made it part of his annual field trips to the Museum of Fine Arts and the Salvador Dalí Museum. As a youth teacher at the Dalí, he has conducted walking architecture tours for the students, including a tour of Kenwood. He wrote the summaries of the historic houses on his block for the historic district designation.

Sheila is a retired middle school gifted teacher and a registered archaeologist. As part of her cultural resources work, she photographed and recorded historic structures in St. Petersburg.

The gargantuan size of the planned home at 2101 3<sup>rd</sup> Ave North will detract from the aesthetic and historical value of one of the finest neighborhoods in the city. As residents and as people who love historic St. Petersburg architecture, we join with our neighbors and urge you to oppose its construction.

Sheila and John Stewart

From: Mariaelena Bartesaghi <mbartesaghi@usf.edu>

Sent: Tuesday, August 2, 2022 7:00 AM

To: Kelly K. Perkins

**Subject:** 2101 3rd Ave N proposed plan

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Dear CPPC Commissioners,

I am writing regarding the proposed new single-family home at 2101 3<sup>rd</sup> Ave N in the SE Kenwood Local Historic District. I am a resident of Historic Kenwood and am strongly opposed to the plan to construct a 3800sf home. The design is not appropriate for the neighborhood, and I request that you deny the application.

The home is out of scale and context in an area known as St. Petersburg's original working-class neighborhood. The neighborhood supports Local Historic District designation and I stand with them. I believe in preserving the character of our neighborhood. I urge you to please DENY their request and encourage the applicant to meet with the City Preservation staff and the Historic Kenwood Neighborhood Association to develop a plan that everyone can support. Thank you for your time.

Sincerely,

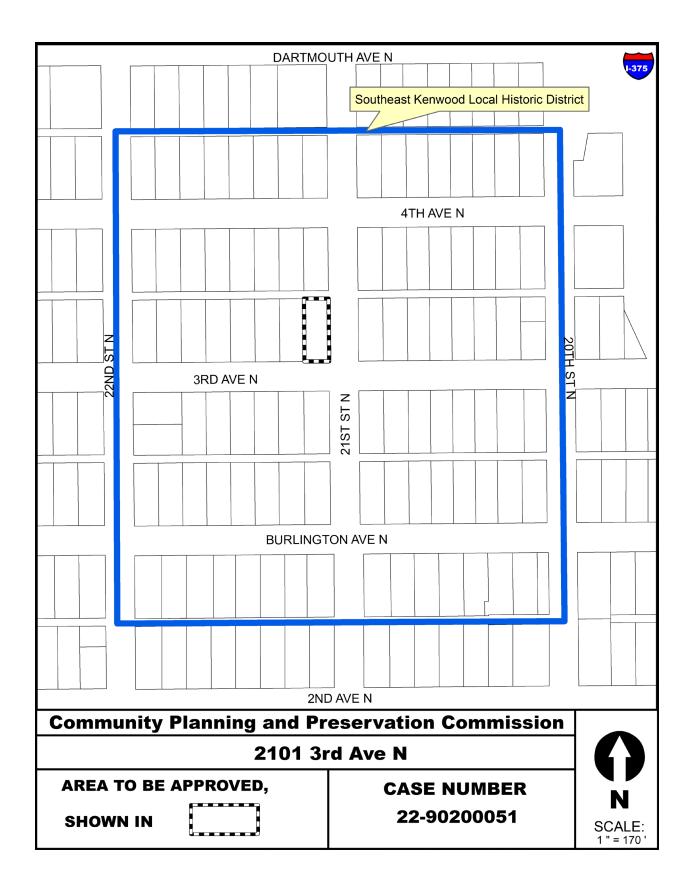
Mariaelena Bartesaghi

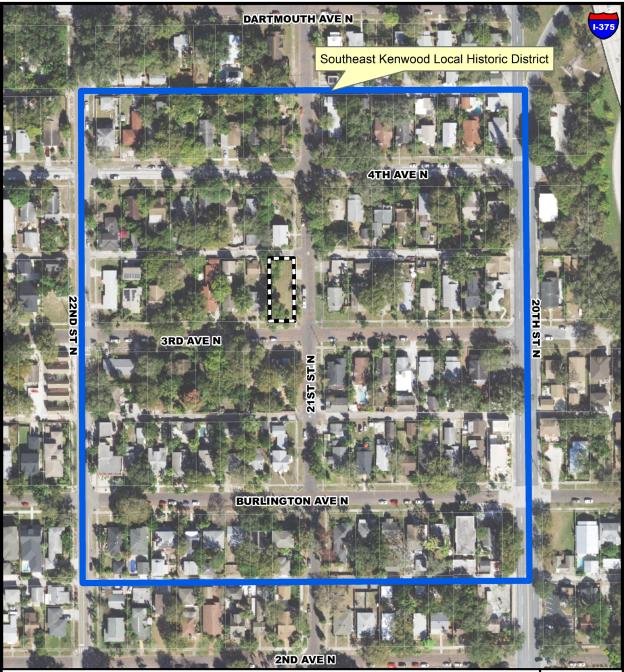
2134 Burlington Ave N

Mariaelena Bartesaghi, Ph.D. Associate Professor, Communication University of South Florida CIS 1040, 4202 E. Fowler Ave Tampa, FL 33620

# Appendix D:

Maps of Subject Property





**Community Planning and Preservation Commission** 

2101 3rd Ave N

AREA TO BE APPROVED,
SHOWN IN

**CASE NUMBER** 22-90200051

